

AGENDA

FOR THE REGULAR MEETING OF THE CITY OF BELEN PLANNING AND ZONING COMMISSION, STATE OF NEW MEXICO, COUNTY OF VALENCIA TO BE HELD ON MONDAY THE 30TH OF JANUARY 2017 AT 6:30 PM IN THE COUNCIL CHAMBERS AT CITY HALL, 100 SOUTH MAIN STREET, BELEN, NEW MEXICO 87002.

ALL P & Z COMMISSION MEETINGS ARE VIDEO AND AUDIO RECORDED.

A COPY OF THE AGENDA CAN BE OBTAINED FROM THE OFFICE OF THE CITY OF BELEN PLANNING & ZONING DEPARTMENT.

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. PLEDGE OF ALLEGEANCE**
- 4. APPROVAL OF AGENDA**
- 5. APPROVAL OF MINUTES:**
Minutes of December 12, 2016
- 6. PUBLIC HEARING WITH POSSIBLE ACTION**
 - A. REQUEST FOR A VARIANCE ON FENCE HEIGHT RESTRICTIONS: ED AUGÉ. Legal Description:** Township 5 North Range 2 East, Section 17, Map 99, Tract 69A1A2A, containing 4.48 ac. Location just west of the existing Augé's Sales & Service Car Lot.
 - B. REQUEST FOR A WIRELES TELECOMMUNICATIONS FACILITIES PERMIT: BROADBAND NETWORK OF NEW MEXICO LLC. Legal Description:** Township 5 North, Range 2 East, Section 18, Map 100, located within the City Right of Way on the south side of the intersection at Baca Ave and Sixth St.
- 7. OPEN COMMENTS/REQUESTS**
Fence Ordinance
- 8. ADJOURNMENT**

RESPECTFULLY SUBMITTED

/S/

Lisa R Miller

Planning & Zoning Administrator

cc: Mayor & City Council
Belen Public Library
Belen Recreation Center

Belen Chamber of Commerce
News Bulletin
Belen City Hall

JERAH R CORDOVA
MAYOR
LEONA VIGIL
CITY MANAGER



CITY OF BELEN
100 SOUTH MAIN STREET
BELEN, NEW MEXICO 87002
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WAYNE GALLEGOS
CITY COUNCIL
DAVID CARTER
CITY COUNCIL
DARLEEN ARAGON
MAYOR PRO-TEM
FRANK ORTEGA
CITY COUNCIL

**CITY OF BELEN
PLANNING & ZONING COMMISSION MEETING
MINUTES
JANUARY 9, 2017**

Chairman Steve Etheridge called the regular meeting of the Belen Planning and Zoning Commission meeting to order at 6:30 p.m.

PRESENT: Chairman Steve Ethridge
Vice Chair Pete Armstrong
Commissioner Debbie Thompson
Commissioner Claudine Montano

ABSENT: Commissioner Gordon Reeves

CITY STAFF: Steven Tomita, Planning & Economic Development Director
Lisa Miller, Planning & Zoning Administrator

PLEDGE OF ALLEGEANCE

Chairman Steve Ethridge led the Pledge.

APPROVAL OF AGENDA:

Vice Chair Pete Armstrong moved to approve the Agenda.

Commissioner Debbie Thompson seconded the motion.

Motion Carried.

APPROVAL OF MINUTES:

Corrections were given and the minutes were changed to reflect this.

Vice Chair Pete Armstrong moved to approve the minutes as corrected.

Commissioner Claudine Montano seconded the motion.

Motion carried.

DISCUSSION

Airport Overlay Zone-Land Use

Steven Tomita reviewed the suggestions that he had gone over at the last discussion on the Airport Overlay Land Use. One was that the City owned property and rezoning it as a SU-1 so that anything that would be placed in this area would have to come before the Commission for review and approval to make sure it is acceptable for what they envision for airport development and promotes airport development.

Vice Chair Pete Armstrong said that he thought that was already done and that they were now going to move into the commercial, industrial and residential areas.

Steven Tomita said that it was just the opposite of that. They had talked about the different stages of the commercial residential areas. He spoke with Moltzen and Corbin about this issue and they said that the best way to go about it would be to take the city owned property around the airport and make that area into an SU-1 area. It would be very complex if we took and everything within a certain distance and make it into a SU-1. Once you zone something you lose some of the control. He suggested that the area outside of the City owned property could be designated as an airport overlay zone.

Commissioner Debbie Thompson said that she thought that they had discussed zoning it for things like apartments, retail businesses, etc. so that they would not have to come before the Commission for approval.

Steven Tomita said that it was discussed. Therein lies a conundrum because do they want to say it is for housing or mixed use and maybe even commercial.

Commissioner Debbie Thompson said that she thought they had more of a mixed use in mind for that area.

Steven Tomita said that a land use plan is different than zoning. When you designate land use you are not rezoning a piece of property. You are expecting a use that is in compliance with what you are envisioning for that area. It could be an airport transition zone of mixed use which includes residential, commercial, light industrial, offices, etc.

Vice Chair Pete Armstrong said that he feels that they should go forward as one voice.

Steven Tomita said that it might behoove them to bring in an FAA representative, a voice from Moltzen and Corbin or one from MRCOG to get their advice as to how to proceed.

Vice Chair Pete Armstrong felt that he would like to hear from the FAA because they have a lot of experience in this area. He thought that the intent was that once you start moving away from the airport property, that we wanted to control and encourage certain types of developments in that area.

Steven Tomita said that is why he was leaning towards an airport overlay zone or an airport transition zone.

Vice Chair Pete Armstrong asked to have the area clarified and wanted to know if it was the three mile radius around the airport.

Steven Tomita said that it was the three mile radius. He suggested that they contact MRCOG be brought in for suggestions. They have experience in several areas and one of them is future land use. MRCOG is a consultant firm and has a planning division that does land use planning, comprehensive plans, etc. They are going to be doing the City's Comprehensive Plan and they will be looking at the whole city for this. They have dealt with these kinds of things and could give us some good advice as how to proceed and what to include. They have also helped the City with obtaining grants.

Vice Chair Pete Armstrong said it sounds like they are a major player in this whole process since they will be doing the city Comprehensive Plan.

Chairman Steve Ethridge asked what MRCOG stands for.

Steven Tomita said Mid-Region Council of Governments. He said they also need to involve the FAA because any decisions made will affect the airport. They have a lot of say so on what we do should it negatively impact the airport. The FAA representative that we have for the airport did recommend that we re-zone the city owned properties around the airport SU-1.

Vice Chair Pete Armstrong asked if we have documentation from the FAA and MRCOG recommending that we zone those properties SU-1.

Steven Tomita said no, other than the meeting that they had with the airport manager, the city manager, and himself, on this topic, they addressed the city owned properties and made that recommendation. There was no documentation. It was all verbal.

Vice Chair Pete Armstrong suggested that as they go along this process, that it be documented so that if someone comes back later and questions this, there is documentation as to how and why it was done.

Steven Tomita said that the property around the airport is currently zoned C-1 and this was given to it when the surrounding properties were annexed into the airport by his predecessor. Nobody knew why it was done and some were not in agreement with it being zoned that way.

Vice Chair Pete Armstrong just strongly felt that this process and decision making and recommendations to the City Council needs to be documented.

Everyone agreed.

Steven Tomita recommended that they do not re-zone lands, except the city owned properties, but place an overlay or transition land use designation area. You place an overlay zone on existing zones so that you have more control on what is developed there. We need to put guidelines in place.

Everyone was in agreement.

Steven Tomita said that he would contact MRCOG and the FAA representative and ask them to attend the Commission meeting so that they can office suggestions and comments.

Chairman Steve Ethridge said that he would like to see more information provided in their packets so that they get a better idea of the topic of discussion and they would be better prepared to discuss that topic.

Steven Tomita said that by addressing this now, instead of at the same time as the comprehensive plan, is so that we have a better idea as to how we see the future development of the City. If you don't have this you are going to make a lot of mistakes and have a hard time attracting businesses and developers, because they want to know what is expected of them and what will be happening around them.

Vice Chair Pete Armstrong said that he thinks that the airport and the land associated with it, is one of the most important things for the City of Belen in the long term and it is incumbent upon us to get us moving much sooner than later. We need to move forward in a manner that is not just by our pants but is agoing along some kind of orderly plan.

Steven Tomita said that he has been working with the airport manager with the leases at the airport, with how the airport can be marketed with controlled and sensible growth.

It was agreed that Steven Tomita would try to have MRCOG and a FAA representative at the next meeting where the airport overlay zone was discussed to get this process going.

OPEN COMMENTS/REQUESTS

Steven Tomita brought up the changes that were made to the fence Ordinance. He does not feel that the statement of "includes but not limited to" should not be there. You add that and you are saying that anything could be done. It is not legally defensible. They either need to define what is allowed or don't define anything at all.

Vice Chair Pete Armstrong said that they had a discussion, at some length, on this and he doesn't know if they can or should all those things that are acceptable and all of those things that are not.

Steven Tomita said that they can establish categories of fences. Things like fabricated metal type fences, concrete or block type fences, and this allows flexibility. They are going to have to define what is acceptable.

Vice Chair Pete Armstrong said that they way it was written was very prescriptive and very limited. They struggled with the specific types of fences but were not all inclusive types of fences that they wanted included.

Commissioner Debbie Thompson said that she remembers that this was to do with chain link fences in one area while not in another.

Chairman Steve Ethridge said that the way it is now makes sense but feels that they need to go over it to make sure this is what they want sent to the City Council.

Steven Tomita said that it needs to be put on the agenda as a discussion item. He just wanted to bring to their attention to see if they want to review and discuss it again before it moves on.

Commissioner Debbie Thompson said that it was her understanding that they were presenting a document with their ideas and then the City Council would review them and make any suggestions and changes that they felt should be there for final adoption.

Steven Tomita said that what the P & Z Commission does is send to them what we want verbatim and if they want to change it they have the authority.

Chairman Steve Ethridge said he would like to see it on the agenda for a final review.

Steven Tomita said that he has a few suggestions that he would like them to consider before it is sent to the Council. One is the chain link fences.

Vice Chair Pete Armstrong said that chain link fences service a purpose, mainly security.

Steven Tomita said that is why he thinks that they should re-address this before they send it on to council.

The Commission agreed that it needs to be placed back on the agenda for more discussion.

Lisa Miller said that the work at City Hall is complete. The changes are nice.

Steven Tomita said that Belen is attracting some attention from businesses and manufacturers. He is getting a lot of inquiries. He feels that 2017 is going to be a good year for some growth in the City.

Vice Chair Pete Armstrong asked about Rancho Cielo and inquired on the possibility of growth in that area. He heard that it was the infrastructure that the City could provide that was keeping it from moving forward.

Steven Tomita said at this time until the interchange is done, it is very slow going for that area. There was a big debate concerning some of those issues. If you have someone who is interested they need to put in their own treatment plant. He was told that could not be done and that they had to hook up to the City's existing plant. He has since found out that it can be legally done and they can have their own treatment plant, water wells, etc. He is now marketing it that way.

Commissioner Claudine Montano asked what CEMCO did and asked how the Business Center was doing.

Steven Tomita said that they build crushers and sell them all over the country and the world. He said that he has two prospects for the Business Center and is working on the leases. There are other events that will be happening there shortly.

Commissioner Claudine Montano said that the bug light display was nice this year and appreciated all the volunteer help that went into putting that on.

Vice Chair Pete Armstrong said that he would like to thank all the service organizations that supported her for those 20 some odd days of display. He was also very pleased at how the parade turned out and how they changed the path of the parade.

Steven Tomita said that he was glad that the model railroad group set up a display at the Business Center. They did not get the turnout that they had hoped for. There was not a write up on them as there should have been. They were excited to be here.

Chairman Steve Ethridge said that he will be attending the Rio Grande Trail Association. He wants to try to get our river park area into this.

Lisa Miller informed the Commission that there will be a variance and a Wireless Telecommunications Facility permit on the next meeting agenda. The next meeting will be on the 30th of January.

Steven Tomita said that they will need to carefully review the information that they will be provided with. This could be a controversial issue.

ADJOURNMENT

There being no further business to come before the City of Belen Planning & Zoning Commission, Commissioner Debbie Thompson moved to adjourn.

Vice Chair Pete Armstrong seconded the motion.

Motion carried.

The regular meeting of the City of Belen Planning & Zoning Commission adjourned at 7:17 pm.

Chairman Steve Ethridge

ATTEST: _____
Steven Tomita, Planning & Economic Development Director

A. No WTF may be constructed, installed, modified, or operated within the municipal limits of the city without first obtaining a permit from the city. An application for a WTF permit shall be submitted to the city zoning officer and shall include the following:

1. A general location map showing the proposed site for the WTF and surrounding lands within a ¼ mile radius of the proposed site. This map should show major roads and other features necessary to locate the site.
2. A vicinity map showing property lines of the land on which the WTF is located, and surrounding properties adjacent to the WTF property. On-Site and off-site zoning and land uses will be indicated on the vicinity map, including the city of Belen and other zoning jurisdiction, if applicable.
3. Documentation regarding collocation as described in these regulations;
4. Site plans, drawn to scale, that include the following information.
 - a. All property lines, showing distances and bearings, with topography sufficient to characterize site drainage;
 - b. All existing and proposed site improvements, including buildings and structures, roadways and easements, utility lines, and landscaping, with dimensions and setbacks from property lines;
 - c. A written statement and elevation drawings of the proposed WTF, indicating the type of construction, support structure, tower height, and visual image presented by the WTF;
 - d. A notarized statement from the applicant that describes the facility's capacity and declares the number and type(s) of antenna(s) that it can accommodate, or an explanation of why the facility cannot be designed to accommodate other users;
 - e. An engineer's stamp and registration number;
 - f. A five-year plan stating their intentions and not subject to change; and
 - g. Any other information as requested by the city.

5. For any new WTF, a letter of intent committing the WTF owner and any successors to allowing shared use of the facility if an additional user agrees in writing to meet reasonable terms and conditions of shared use.

B. Any requests for a WTF permit will be submitted with a filing fee of one hundred dollars (\$100.00) to the zoning

Chapter 17.59 - WIRELESS TELECOMMUNICATIONS FACILITIES

Sections:

17.59.010 - Title and purpose.

- A. The ordinance codified in this chapter is known as the "wireless telecommunications facilities ordinance" and is referred to herein as "these regulations."
- B. The purpose of these regulations are as follows:
 - 1. To regulate the construction, installation, or modification of wireless telecommunication facilities (WTF);
 - 2. To allow wireless telecommunications service providers to operate effectively and efficiently within the community while minimizing the total number and overall impact of additional towers;
 - 3. To promote collocation or the construction of attached wireless telecommunications facilities, and encourage the use of appropriate public and semi-public properties where possible;
 - 4. To require design and construction of wireless telecommunications facilities to be compatible with adjacent land uses;
 - 5. To protect the scenic, historic, and environmental quality of the city from the adverse impacts of wireless telecommunications facilities development; and
 - 6. To protect the public health, safety, and general welfare of the community.
- C. All references to zoning in these regulations shall pertain to the comprehensive zoning ordinance of the city. These regulations are considered as a supplement to the zoning ordinance.

(Ord. No. 2015-14, 11-16-2015)

17.59.020 - Definitions.

The term wireless telecommunications facilities is referred to hereafter as "WTF." The following definitions apply to these regulations:

Antenna, WTF. "WTF Antenna" means any exterior transmitting or receiving device which may be mounted on a tower, building, or structure and used in communications that radiates or captures electromagnetic waves, digital signals, analog signals, radio frequencies (excluding radar signals), or other commercial signals. Such antenna includes, but is not limited to, an omni-directional antenna (whip), directional antenna (panel), or parabolic antenna (dish).

"Attached WTF" means an antenna that is attached or affixed to an existing building or structure, including public utility structures and freestanding signs.

"Collocation" means the location of more than one (1) WTF on the same structure by more than one (1) WTF owner, or the location of one (1) or more WTF on a public utility structure.

"Concealed WTF" means a WTF that is architecturally integrated with existing buildings or structures by means of color, massing, placement, design, or shape, and which does not stand out as a WTF.

"Freestanding WTF" means a WTF that consists of a stand-alone support structure, antennas, and associated equipment. The support structure may be a wooden pole, steel monopole, lattice tower, guy-wire support tower, or other similar structure. This does not include a WTF antenna that is mounted on a public utility structure.

Height, WTF. "WTF Height" means the vertical dimension of a WTF or support structure, as measured from the ground elevation at the base of the WTF or support structure to the top of the structure, including the antenna.

"Public utility structure" means a structure, owned by a unit of government or by a public utility company, which includes but is not limited to an electric substation, gas transfer station, wastewater collection structures, public water supply structures, street light poles, or any other similar public utility structure. A WTF antenna may be attached to a public utility structure subject to any height requirements established herein.

"Wireless telecommunications facilities (WTF)" means a facility that transmits or receives signals radiated or captured by a WTF antenna. A WTF includes antennas, equipment for the transmission or reception of signals, support structures, equipment buildings or cabinets, parking areas, and other accessory development.

"Wireless telecommunications services" means the provision or offering for rent, sale, or lease, or in exchange for other value received, of the transmittal of voice, data, image, graphic, and video programming information between or among points of location, but excluding cable services. Such services are further defined in the Federal Telecommunications Act.

(Ord. No. 2015-14, 11-16-2015)

17.59.030 - General requirements.

The following regulations apply to all WTF within the municipal limits of the city:

A. Setbacks and Height.

1. A freestanding WTF will be set back a minimum of seventy-five (75) feet from the property line, or at a one-to-one ratio (one (1) foot of setback for every foot of tower height from the property boundary of the WTF), whichever is greater, from any residentially zoned property.
- 2.

For any setbacks not covered above, setbacks must conform to the setback requirements of the zone district in which the WTF is located.

3. A freestanding WTF shall not exceed a height of seventy-five (75) feet within lands zoned for residential purposes, however a freestanding WTF may be constructed up to one hundred (100) feet on lands zoned for industrial purposes.
4. An attached WTF shall not extend more than twenty (20) feet above the height of the structure upon which the WTF is mounted.

B. Lighting and Signage.

1. Only security lighting or lighting required by a state and/or federal agency is allowed, if the location and direction of the lighting fixture will be such that it does not shine directly on any public right-of-way or any residential premises.
2. The only signage that is permitted is that which is required by state or federal law.

C. Telecommunications Equipment Building or Cabinet.

1. Any telecommunications equipment building or cabinet shall not contain more than four hundred (400) square feet of gross floor area per user and shall not be more than twelve (12) feet in height.
2. Setback of equipment buildings or cabinets shall conform to the setback requirements of the zone district in which the WTF is located.

D. Abandonment.

1. All WTF which are not in use for six (6) consecutive months will be removed by the WTF owner. Costs associated with removal of an abandoned WTF and site restoration will be paid by the service provider, owner of the WTF and/or property owner.
2. Removal of a WTF shall take place within three (3) months of the end of such six-month period. Upon removal, the surface of the site shall be restored to a condition suitable for redevelopment.

E. Collocation.

1. No new freestanding WTF shall be permitted unless the city engineer determines, upon the applicant's demonstration, that no existing tower, structure or public utility structure can be used in lieu of new construction to accommodate the applicant's proposed WTF.
2. Evidence submitted to the city which demonstrates that no existing tower structure, or public utility structure within a one-quarter-mile radius of the proposed facility can reasonably accommodate the applicant's proposed WTF shall consist of the following:
 - a. That no existing tower, structure, or public utility structure is located within the one-quarter-mile radius which meets the applicant's engineering requirements;
 - b. That no existing tower, structure, or public utility structure is located within the one-quarter-mile radius which has sufficient structural strength or space available to support the applicant's proposed WTF and related equipment;
 - c.

That the applicant's proposed WTF would not cause unavoidable electromagnetic interference with the antenna(s) on the existing towers, structures or public utility structures, or the antenna(s) on the existing towers, structures or public utility structures would not cause interference with the applicant's proposed WTF; or

- d. That the owners of existing towers, structures, or public utility structures within the one-quarter-mile radius will not allow the applicant to place its WTF thereon, or such owners are requiring payments for the use of their tower that substantially exceed commercially reasonable rates.

F. Interference and Health Issues.

1. Every WTF shall meet the regulations of the Federal Communications Commission regarding physical and electromagnetic interference.
2. Every WTF shall meet health and safety standards for electromagnetic field emissions as established by the Federal Communications Commission and any other federal or state agency.

G. Main Street Overlay Zone (Main Street District).

1. Only a concealed WTF is allowed within the Main Street Overlay Zone (Main Street District), as delineated on the city zoning map.
2. All freestanding WTF are prohibited within one-eighth (1/8) mile of the boundary of the Main Street Overlay Zone (Main Street District).

H. Concealed WTF.

1. Concealed WTF must be:
 - a. Architecturally integrated with an existing building or structure by means of color, massing, placement, design, or shape;
 - b. Located on existing vertical infrastructure, such as utility poles or public utility structures, if possible; and
 - c. Located in areas where the existing topography, vegetation, buildings, or other structures provide the greatest amount of screening.
2. A proposed concealed WTF will be subject to review and approval by the city of Belen planning and zoning commission in order to determine whether the WTF is "concealed".

I. Applicability and Exclusions.

1. Every WTF located within the city, whether upon private or public lands will be subject to these regulations and shall require a permit issued by the city.
2. The following facilities are exempted from these regulations:
 - a. Amateur radio station operator/receive-only antenna if owned and operated by a federally licensed amateur radio station operator or used exclusively for a receive-only antenna;
 - b. Any tower or antenna existing prior to the effective date of these regulations provided that no alterations are made to the WTF unless they are in compliance with these regulations; and

- c. Any WTF used exclusively for emergency services including police, fire, and operations of the city water utility.

J. Noise.

1. Noise-producing equipment will be sited and/or insulated to guarantee that no increase in noise above ambient levels measured at the property line occurs.
2. Backup generators shall only be operated during power outages and for testing and maintenance purposes conducted during regular business hours.

K. Landscaping.

1. Any freestanding WTF must incorporate sufficient landscaping as a screening device at the base of the tower and around associated structures, subject to the review and approval of the planning and zoning commission of the city of Belen. Existing vegetation and natural landforms on the site will be preserved to the maximum extent possible.
2. All vegetation, landscaping, and grounds removed, damaged or disturbed as a result of the construction, installation, maintenance, repair or replacement of any WTF, will be replaced or restored by the WTF owner as nearly as practicable to the condition existing prior to performance of work.

(Ord. No. 2015-14, 11-16-2015)

17.59.040 - Permit application requirements.

- A. No WTF may be constructed, installed, modified, or operated within the municipal limits of the city without first obtaining a permit from the city. An application for a WTF permit shall be submitted to the city zoning officer and shall include the following:
1. A general location map showing the proposed site for the WTF and surrounding lands within a one-quarter-mile radius of the proposed site. This map should show major roads and other features necessary to locate the site.
 2. A vicinity map showing property lines of the land on which the WTF is located, and surrounding properties adjacent to the WTF property. On-site and off-site zoning and land uses will be indicated on the vicinity map, including the city of Belen and other zoning jurisdictions, if applicable;
 3. Documentation regarding collocation as described in these regulations;
 4. Site plans, drawn to scale, that include the following information:
 - a. All property lines, showing distances and bearings, with topography sufficient to characterize site drainage;
 - b. All existing and proposed site improvements, including buildings and structures, roadways and easements, utility lines, and landscaping, with dimensions and setbacks from property lines;
 - c. A written statement and elevation drawings of the proposed WTF, indicating the type of construction, support structure, tower height, and visual image presented by the WTF;

- d. A notarized statement from the applicant that describes the facility's capacity and declares the number and type(s) of antenna(s) that it can accommodate, or an explanation of why the facility cannot be designed to accommodate other users;
 - e. An engineer's stamp and registration number;
 - f. A five-year plan stating their intentions and not subject to change; and
 - g. Any other information as requested by the city.
5. For any new WTF, a letter of intent committing the WTF owner and any successors to allowing shared use of the facility if an additional user agrees in writing to meet reasonable terms and conditions of shared use.
- B. Any requests for a WTF permit will be submitted with a filing fee of one hundred dollars (\$100.00) to the zoning officer on a prescribed form obtainable at the planning and zoning office. The zoning officer shall transmit the applications and all supplementary information to the planning and zoning commission for consideration at a public meeting which will be held, subject to prior notice, within forty-five (45) days following the date the application is received by the zoning officer and deemed complete. The applicant shall pay additional costs associated with a technical engineering review on behalf of the city. A decision by the planning and zoning commission will be made by a formal action to approve, to approve with conditions, or to deny the application for a WTF permit. Any decision by the planning and zoning commission regarding a WTF permit will be based on the evidence contained in the written record established through the application process.
- C. A variance to the requirements of these regulations may be granted by the planning and zoning commission in the same manner and under the same procedures as an application for a WTF permit. A variance may be requested as part of the initial application for a WTF permit or for a preexisting WTF.
- No variance will be granted if it is not in the best interest of the community as a whole, and it will not jeopardize the public health, safety, or welfare. The following conditions may be subject of a variance to the requirements of these regulations:
1. The height of the proposed WTF;
 2. The setback of the tower or antenna to residential zone district boundaries;
 3. Changes to any other dimensional restrictions;
 4. The design of the tower or antenna, with particular reference to design characteristics intended to reduce or eliminate the tower's or antenna's visibility;
 5. The availability of suitable existing towers or other structures; and
 6. Such other factors as may be relevant.
- D. Any aggrieved person or persons affected by a decision made by the planning and zoning commission regarding a WTF permit may appeal to the city council within thirty (30) days after the date of the decision being appealed. Subject to fees and procedures as stated in the comprehensive zoning

ordinance for appeal process. The city council shall conduct a public hearing on the appeal within forty-five (45) days following the request for appeal, subject to the prior notice. The city council may, by a majority vote of its members, uphold or reverse the decision of the planning and zoning commission.
(Ord. No. 2015-14, 11-16-2015)

**CITY OF BELEN
100 SOUTH MAIN STREET
BELEN, NM 87002
(505) 864-8221**

NOTICE OF PUBLIC HEARING

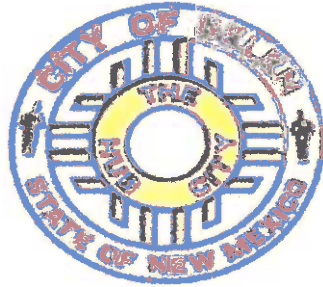
NOTICE IS HEREBY GIVEN to the public and all parties of interest that the Belen Planning and Zoning Commission will conduct a public hearing for a **WIRELES TELECOMMUNICATIONS FACILITIES PERMIT: BROADBAND NETWORK OF NEW MEXICO LLC.**

LEGAL DESCRIPTION: Township 5 North, Range 2 East, Section 18, Map 100, located within the City Right Of Way on the south side of the intersection at Baca Ave and Sixth St.

You are further notified that this public hearing will be held on **Monday, January 30, 2017 at 6:30 PM**, in the Council Chambers at City Hall, 100 South Main Street, Belen, NM 87002. Any person having objections or wishing to be heard should make such protests to the Belen Planning and Zoning Commission at the above stated date and time. Comments should be mailed to the Belen Planning and Zoning Department at 100 South Main Street, Belen, NM 87002.

LEGAL NOTICE PUBLISHED: January 12, 2017





CITY OF BELEN
100 SOUTH MAIN STREET
BELEN, NM 87002
(505) 864-8221

WIRELESS TELECOMMUNICATIONS FACILITIES APPLICATION

APPLICATION INFORMATION:

Name, mailing address, and phone number of applicant:

Structural Network of New Mexico LLC, Mark Deering, 120 S. Riverside Plaza
Suite 1800, Chicago, IL 60606, 312-638-3301

WTF PERMIT APPLICATION REQUIREMENTS. (Please attach the following information for all WTF permits)

A. No WTF may be constructed, installed, modified, or operated within the municipal limits of the city without first obtaining a permit from the city. An application for a WTF permit shall be submitted to the city zoning officer and shall include the following:

1. A general location map showing the proposed site for the WTF and surrounding lands within a ¼ mile radius of the proposed site. This map should show major roads and other features necessary to locate the site.
2. A vicinity map showing property lines of the land on which the WTF is located, and surrounding properties adjacent to the WTF property. On-Site and off-site zoning and land uses will be indicated on the vicinity map, including the city of Belen and other zoning jurisdiction, if applicable.
3. Documentation regarding collocation as described in these regulations;
4. Site plans, drawn to scale, that include the following information.
 - a. All property lines, showing distances and bearings, with topography sufficient to characterize site drainage;
 - b. All existing and proposed site improvements, including buildings and structures, roadways and easements, utility lines, and landscaping, with dimensions and setbacks from property lines;
 - c. A written statement and elevation drawings of the proposed WTF, indicating the type of construction, support structure, tower height, and visual image presented by the WTF;
 - d. A notarized statement from the applicant that describes the facility's capacity and declares the number and type(s) of antenna(s) that it can accommodate, or an explanation of why the facility cannot be designed to accommodate other users;
 - e. An engineer's stamp and registration number;
 - f. A five-year plan stating their intentions and not subject to change; and
 - g. Any other information as requested by the city.

5. For any new WTF, a letter of intent committing the WTF owner and any successors to allowing shared use of the facility if an additional user agrees in writing to meet reasonable terms and conditions of shared use.

B. Any requests for a WTF permit will be submitted with a filing fee of one hundred dollars (\$100.00) to the zoning officer.

Applicant Signature Mark Deering Date Applicant Submitted 11/10/16

Amount of Fee Received _____ Date Application Received _____

Date of Hearing _____ Zoning Officer Signature _____

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL BUILDING CODE, THE LATEST EDITION AND ALL OTHER APPLICABLE CODES AND ORDINANCES.
2. CONTRACTOR SHALL CONSTRUCT SITE IN ACCORDANCE WITH THESE DRAWINGS AND CONSTRUCTION SPECIFICATIONS 80-T1196-REV.H. THE SPECIFICATION IS THE FINAL DOCUMENT AND ANY DISCREPANCIES BETWEEN THE SPECIFICATION AND THESE DRAWINGS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. CONTRACTOR SHALL VISIT THE JOB SITE AND SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK. NO COMPENSATION WILL BE AWARDED BASED ON CLAIM OF LACK OF KNOWLEDGE OF FIELD CONDITIONS.
4. PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT AND APPURTENANCES, AND LABOR NECESSARY TO EFFECT ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS. OWNER PROVIDED MATERIALS WILL INCLUDE THE FOLLOWING, UNLESS NOTED OTHERWISE:
 - A) TRANSMITTER
 - B) RF FILTER
 - C) HOSE AND HOSE MANIFOLDS (ANY COPPER OR STEEL SECTIONS PROVIDED BY CONTRACTOR)
 - D) UHF ANTENNA AND MOUNTING BRACKETS, GPS ANTENNAS AND KU ANTENNAS
 - E) LIFE COAX AND HANGERS
 - F) 480-208 & 208-400 ELECTRICAL TRANSFORMERS (RE: E-2 FOR SPECIALIZED TRANSFORMERS PROVIDED BY CONTRACTOR)
 - G) AUTOMATIC TRANSFER SWITCH AND GENERATOR
 - H) EQUIPMENT SHELTER (SHELTERS FURNISHED IN FACTORY W/ HVAC EQUIPMENT AND ELECTRICAL DISTRIBUTION PANEL)
 - I) INTEGRATED LOAD CENTER
5. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS. SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, EXISTING CONDITIONS AND/OR DESIGN INTENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE WORK.
6. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
7. CONTRACTOR SHALL RECEIVE CLARIFICATION IN WRITING, AND SHALL RECEIVE IN WRITING AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEMS NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
8. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING THE BEST CONSTRUCTION SKILLS AND ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER CONTRACT, UNLESS OTHERWISE NOTED.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS.
10. CONTRACTOR SHALL COORDINATE HIS WORK WITH THE SUPERINTENDENT OF BUILDINGS & GROUNDS AND SCHEDULE HIS ACTIVITIES AND WORKING HOURS IN ACCORDANCE WITH THE REQUIREMENTS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH THE WORK OF OTHERS AS IT MAY RELATE TO RADIO EQUIPMENT, ANTENNAS AND ANY OTHER PORTIONS OF THE WORK.
12. INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
13. MAKE NECESSARY PROVISIONS TO PROTECT EXISTING SURFACES, EQUIPMENT, IMPROVEMENTS, PIPING ETC. AND IMMEDIATELY REPAIR ANY DAMAGE THAT OCCURS DURING CONSTRUCTION.
14. IN DRILLING HOLES INTO CONCRETE WHETHER FOR FASTENING OR ANCHORING PURPOSES, OR PENETRATIONS THROUGH THE FLOOR FOR CONDUIT RUNS, PIPE RUNS, ETC., MUST BE CLEARLY UNDERSTOOD THAT REINFORCING STEEL SHALL NOT BE DRILLED INTO, CUT OR DAMAGED UNDER ANY CIRCUMSTANCES (UNLESS NOTED OTHERWISE). LOCATIONS OF REINFORCING STEEL ARE NOT DEFINITELY KNOWN AND THEREFORE MUST BE SEARCHED FOR BY APPROPRIATE METHODS AND EQUIPMENT.
15. REPAIR ALL EXISTING WALL SURFACES DAMAGED DURING CONSTRUCTION SUCH THAT THEY MATCH AND BLEND IN WITH ADJACENT SURFACES.
16. SEAL PENETRATIONS THROUGH FIRE RATED AREAS WITH U.L. LISTED AND FIRE CODE APPROVED MATERIALS.
17. KEEP CONTRACT AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, AND RUBBISH. EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY OF THE OWNER SHALL BE REMOVED. LEAVE PREMISES IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SLUDGES OF ANY NATURE. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL ITEMS UNTIL COMPLETION OF CONSTRUCTION.
18. MINIMUM BEND RADIUS OF ANTENNA CABLES SHALL BE IN ACCORDANCE WITH CABLE MANUFACTURER'S RECOMMENDATIONS.
19. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO APPLICABLE REGULATORY AUTHORITIES.
20. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION SHALL BE IN CONFORMANCE WITH JURISDICTIONAL OR STATE AND LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL AND COORDINATED WITH LOCAL REGULATORY AUTHORITIES.
21. ALL CONSTRUCTION IS TO ADHERE TO APPLICANT'S INTEGRATED CONSTRUCTION STANDARDS UNLESS STATE CODE IS MORE STRINGENT.
22. THE INTENT OF THE PLANS AND SPECIFICATIONS IS TO PERFORM THE CONSTRUCTION IN ACCORDANCE PER STATE BUILDING STANDARDS CODE, TITLES 19 AND 24, STATE CODE OR REGULATIONS. SHOULD ANY CONDITIONS DEVELOP NOT COVERED BY THE APPROVED PLANS AND SPECIFICATIONS WHEREIN THE FINISHED WORK WILL NOT COMPLY PER STATE CODE OR REGULATIONS, A CHANGE ORDER DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE JURISDICTION BEFORE PROCEEDING WITH THE WORK.

1. ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ANY/ALL ELECTRICAL WORK INDICATED. ANY/ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH DRAWINGS AND ANY/ALL APPLICABLE SPECIFICATIONS. IF ANY PROBLEMS ARE ENCOUNTERED BY COMPLYING WITH THESE REQUIREMENTS, CONTRACTOR SHALL NOTIFY 'CONSTRUCTION MANAGER' AS SOON AS POSSIBLE, AFTER THE DISCOVERY OF THE PROBLEMS, AND SHALL NOT PROCEED WITH THAT PORTION OF WORK, UNTIL THE 'CONSTRUCTION MANAGER' HAS DIRECTED THE CORRECTIVE ACTIONS TO BE TAKEN.
2. ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE AND FAMILIARIZE HIMSELF WITH ANY/ALL CONDITIONS AFFECTING ELECTRICAL AND COMMUNICATION INSTALLATION AND MAKE PROVISIONS AS TO THE COST THEREOF. ALL EXISTING CONDITIONS OF ELECTRICAL EQUIP., LIGHT FIXTURES, ETC., THAT ARE PART OF THE FINAL SYSTEM, SHALL BE VERIFIED BY THE CONTRACTOR, PRIOR TO THE SUBMITTING OF HIS BID. FAILURE TO COMPLY WITH THIS PARAGRAPH WILL IN NO WAY RELIEVE CONTRACTOR OF PERFORMING ALL WORK NECESSARY FOR A COMPLETE AND WORKING SYSTEM.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC AND ALL CODES AND LOCAL ORDINANCES OF THE LOCAL POWER & TELEPHONE COMPANIES HAVING JURISDICTION AND SHALL INCLUDE BUT NOT BE LIMITED TO:
 - A. C- NATIONAL FIRE CODES
 - B. UL - UNDERWRITERS LABORATORIES
 - C. NEC - NATIONAL ELECTRICAL CODE
 - D. NEMA - NATIONAL ELECTRICAL MANUFACTURERS ASSOC.
 - E. OSHA - OCCUPATIONAL SAFETY AND HEALTH ACT
 - F. SBC - STANDARD BUILDING CODE
4. DO NOT SCALE ELECTRICAL DRAWINGS, REFER TO SITE PLANS AND ELEVATIONS FOR EXACT LOCATIONS OF ALL EQUIPMENT, AND CONFIRM WITH 'CONSTRUCTION MANAGER' ANY SIZES AND LOCATIONS WHEN NEEDED.
5. EXISTING SERVICES: CONTRACTOR SHALL NOT INTERRUPT EXISTING SERVICES WITHOUT WRITTEN PERMISSION OF THE OWNER.
6. CONTRACTOR SHALL PAY FOR ANY/ALL PERMITS, FEES, INSPECTIONS AND TESTING. CONTRACTOR IS TO OBTAIN PERMITS AND APPROVED SUBMITTALS PRIOR TO THE WORK BEGINNING OR ORDERING EQUIPMENT.
7. THE TERM 'PROVIDE' USED IN CONSTRUCTION DOCUMENTS AND SPECIFICATIONS, INDICATES THAT THE CONTRACTOR SHALL FURNISH AND INSTALL.
8. CONTRACTOR SHALL CONFIRM WITH LOCAL UTILITY COMPANY ANY/ALL REQUIREMENTS SUCH AS THE: LUG SIZE RESTRICTIONS, CONDUIT ENTRY, SIZE OF TRANSFORMERS, SCHEDULED DOWNTIME FOR THE OWNERS' CONFIRMATION, ETC.. ANY/ALL CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER, PRIOR TO BEGINNING ANY WORK.
9. MINIMUM WIRE SIZE SHALL BE #12 AWG, NOT INCLUDING CONTROL WIRING, UNLESS NOTED OTHERWISE. ALL CONDUCTORS SHALL BE COPPER WITH THWN INSULATION.
10. OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET/DAMP LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
11. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF THE CONSTRUCTION. CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS FOR THE EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
12. ELECTRICAL SYSTEM SHALL BE AS COMPLETELY AND EFFECTIVELY GROUNDED, AS REQUIRED BY SPECIFICATIONS, SET FORTH BY APPLICANT.
13. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS, WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE AND SUBJECT TO REGULATORY INSPECTION AND APPROVAL BY CONSTRUCTION MANAGER.
14. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
15. CONTRACTOR SHALL GUARANTEE ANY/ALL MATERIALS AND WORK FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE.
16. THE CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ANY ADDITIONAL CHARGE AND SHALL INCLUDE THE REPLACEMENT OR THE REPAIR OF ANY OTHER PHASE OF THE INSTALLATION, WHICH MAY HAVE BEEN DAMAGED THEREIN.
17. ADEQUATE AND REQUIRED LIABILITY INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LOSS AND ANY/ALL PROPERTY DAMAGE FOR THE DURATION OF WORK.
18. PROVIDE AND INSTALL CONDUIT, CONDUCTORS, PULL WIRES, BOXES, COVER PLATES AND DEVICES FOR ALL OUTLETS AS INDICATED.
19. DITCHING AND BACK FILL: CONTRACTOR SHALL PROVIDE FOR ALL UNDERGROUND INSTALLED CONDUIT AND/OR CABLES INCLUDING EXCAVATION AND BACKFILLING AND COMPACTION. REFER TO NOTES AND REQUIREMENTS 'EXCAVATION, AND BACKFILLING.
20. MATERIALS, PRODUCTS AND EQUIPMENT, INCLUDING ALL COMPONENTS THEREOF, SHALL BE NEW AND SHALL APPEAR ON THE LIST OF U.L. APPROVED ITEMS AND SHALL MEET OR EXCEED THE REQUIREMENTS OF THE NEC, NEMA AND IECG.
21. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR MANUFACTURERS CATALOG INFORMATION OF ANY/ALL LIGHTING FIXTURES, SWITCHES AND ALL OTHER ELECTRICAL ITEMS FOR APPROVAL BY THE CONSTRUCTION MANAGER PRIOR TO INSTALLATION.
22. ANY CUTTING OR PATCHING DEEMED NECESSARY FOR ELECTRICAL WORK IS THE ELECTRICAL CONTRACTORS RESPONSIBILITY AND SHALL BE INCLUDED IN THE COST FOR WORK AND PERFORMED TO THE SATISFACTION OF THE 'CONSTRUCTION MANAGER' UPON FINAL ACCEPTANCE.
23. THE ELECTRICAL CONTRACTOR SHALL LABEL ALL PANELS WITH ONLY TYPEWRITTEN DIRECTORIES. ALL ELECTRICAL WIRING SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
24. DISCONNECT SWITCHES SHALL BE H.F. RATED HEAVY-DUTY, QUICK-MAKE AND QUICK-BREAK ENCLOSURES, AS REQUIRED BY EXPOSURE TYPE.
25. ALL CONNECTIONS SHALL BE MADE WITH A PROTECTIVE COATING OF AN ANTI-OXIDE COMPOUND SUCH AS 'NO-OXIDE A' BY DEARBORNE CHEMICAL CO. COAT ALL WIRE SURFACES BEFORE CONNECTING. EXPOSED COPPER SURFACES, INCLUDING GROUND BARS, SHALL BE TREATED - NO SUBSTITUTIONS.
26. RACEWAYS: CONDUIT SHALL BE SCHEDULE 40 PVC MEETING OR EXCEEDING NEMA TC2 - 1990. CONTRACTOR SHALL PLUG AND CAP EACH END OF SPARE AND EMPTY CONDUITS AND PROVIDE TWO SEPARATE PULL STRINGS - 200 LBS TEST POLYETHYLENE CORD. CONDUIT BENDS SHALL BE A MINIMUM OF 2 FT. RADIUS. RGS CONDUITS WHEN SPECIFIED, SHALL MEET UL-8 FOR GALVANIZED STEEL. ALL FITTINGS SHALL BE SUITABLE FOR USE WITH THREADED RIGID CONDUIT. COAT ALL THREADS WITH 'BRITE ZINC' OR 'COLD GALV'.
27. SUPPORT OF ALL ELECTRICAL WORK SHALL BE AS REQUIRED BY NEC.
28. CONDUCTORS: CONTRACTOR SHALL USE 99% CONDUCTIVITY COPPER WITH TYPE THWN INSULATION, 600 VOLT, COLOR CODED. USE SOLID CONDUCTORS FOR WIRE UP TO AND INCLUDING NO. 8 AWG. USE STRANDED CONDUCTORS FOR WIRE ABOVE NO. 8 AWG.
29. CONNECTORS FOR POWER CONDUCTORS: CONTRACTOR SHALL USE PRESSURE TYPE INSULATED TWIST-ON CONNECTORS FOR NO. 10 AWG AND SMALLER, USE SOLDERLESS MECHANICAL TERMINAL LUGS FOR NO. 8 AWG AND LARGER.
30. SERVICE: 120/240V, SINGLE PHASE, 3 WIRE CONNECTION AVAILABLE FROM UTILITY COMPANY. OWNER OR OWNERS AGENT WILL APPLY FOR POWER.
31. TELEPHONE SERVICE: CONTRACTOR SHALL PROVIDE EMPTY CONDUITS WITH PULL STRINGS AS INDICATED ON DRAWINGS.
32. ELECTRICAL AND TELCO RACEWAYS TO BE BURIED A MINIMUM OF 2' DEPTH.
33. CONTRACTOR SHALL PLACE TWO LENGTHS OF WARNING TAPE AT A DEPTH OF 12" BELOW GROUND AND DIRECTLY ABOVE ELECTRICAL AND TELCO SERVICE CONDUITS. CAUTION TAPE TO READ "CAUTION BURIED ELECTRIC" OR "BURIED TELECOMM".
34. ALL BOLTS SHALL BE 3-16 STAINLESS STEEL.

1. GC SHALL USE PERMANENT MARKER TO DRAW THE LINES BETWEEN EACH SECTION AND LABEL EACH SECTION ("P", "A", "N", "T") WITH 1" HIGH LETTERS
2. ALL HARDWARE SHALL BE 316 STAINLESS STEEL, INCLUDING LOCK WASHERS, COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING. ALL HARDWARE SHALL BE STAINLESS STEEL 3/8 INCH DIAMETER OR LARGER.
3. FOR GROUND BOND TO STEEL ONLY: INSERT A CADMIUM PLAT WASHER BETWEEN LUG AND STEEL, COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING
4. WHEN THE SCOPE OF WORK REQUIRES THE ADDITION OF A GROUNDING BAR TO AN EXISTING UTILITY POLE, THE SUBCONTRACTOR SHALL OBTAIN APPROVAL FROM THE UTILITY POLE OWNER PRIOR TO MOUNTING THE GROUNDING BAR TO THE UTILITY POLE.
5. ALL ELECTRICAL AND GROUNDING AT THE POLE SITE SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE (NEC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 780 (LATEST EDITION), AND MANUFACTURER.

4. ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
7. GROUND ALL ANTENNA BASES, FRAMES, CABLE RUNS, AND OTHER METALLIC COMPONENTS USING #6 GROUND WIRES. FOLLOW ANTENNA AND BTS MANUFACTURER'S PRACTICES FOR GROUNDING REQUIREMENTS.
8. ALL GROUND CONNECTIONS SHALL BE #6 AWG U.N.O. ALL WIRES SHALL BE COPPER WITH THHN/THWN. ALL GROUND WIRE SHALL BE SOLID TIN COATED OR STRANDED GREEN INSULATED WIRE.
9. CONTRACTOR TO VERIFY AND TEST GROUND TO SOURCE, 10 OHMS MAXIMUM. PROVIDE SUPPLEMENT GROUNDING RODS AS REQUIRED TO ACHIEVE SPECIFIED OHMS READING. GROUNDING AND OTHER OPTIONAL TESTING WILL BE WITNESSED BY THE APPLICANT REPRESENTATIVE.
10. NOTIFY ARCHITECT/ENGINEER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE SOIL CONDITIONS.
11. ALL HORIZONTALLY RUN GROUNDING CONDUCTORS SHALL BE INSTALLED MINIMUM 12" BELOW GRADE/FROST-LINE IN TRENCH, U.N.O., AND BACK FILL SHALL BE COMPACTED AS REQUIRED BY ARCHITECT.
12. ALL GROUND CONDUCTORS SHALL BE RUN AS STRAIGHT AND SHORT AS POSSIBLE, WITH A MINIMUM 12" BENDING RADIUS NOT LESS THAN 90 DEGREES.
13. ACCEPTABLE CONNECTIONS FOR GROUNDING SYSTEM SHALL BE:
 - a. BURNDY, HY-GRADE U.L. LISTED CONNECTORS FOR OUTDOOR USE OR AS APPROVED BY APPLICANT PROJECT MANAGER.
 - b. CABLED, EXOTHERMIC WELDS (WELDED CONNECTIONS).
 - c. ONE (1) HOLE TINNED COPPER COMPRESSION (LONG BARREL) FITTINGS.
14. ALL CRIMPED CONNECTIONS SHALL HAVE EMBOSSED MANUFACTURER'S DIEMARK VISIBLE AT THE CRIMP AND WEATHER-PROOFED WITH HEAT SHRINK (RESULTING FROM USE OF PROPER CRIMPING DEVICES).
15. ALL CONNECTION HARDWARE SHALL BE TYPE 3-16 STAINLESS STEEL (NOT ATTRACTED TO MAGNETS)
16. ELECTRICAL SERVICE EQUIPMENT GROUNDING SHALL COMPLY WITH NEC, ARTICLE 250-82 AND SHALL BOND ALL EXISTING AND NEW GROUNDING ELECTRODES. NEW GROUNDING ELECTRODE SHALL INCLUDE BUT NOT LIMITED TO GROUND RODS, GROUND RING IF SERVICE IS WITHIN THE RADIO EQUIPMENT LOCATION, BUILDING STEEL IF APPLICABLE, COLD WATER CONNECTIONS MUST BE MADE ON THE STREET SIDE OF MAIN SHUT-OFF VALVE.

1. RF CABLE, DATA CABLE, RADIO EQUIPMENT AND BACK HAUL EQUIPMENT TESTING WILL COMPLY WITH CURRENT INDUSTRY STANDARDS AND OR THOSE STANDARDS OF THE EQUIPMENT MANUFACTURE OR PROVIDED TO THE CONTRACTOR PRIOR TO TESTING.
2. CONTRACTOR WILL USE THE APPROPRIATE CALIBRATED TESTING EQUIPMENT IN THE TESTING OF RF CABLE, DATA CABLE, RADIO EQUIPMENT AND BACK HAUL EQUIPMENT THAT MEET INDUSTRY STANDARDS OF THE MANUFACTURE OR THOSE STANDARDS PROVIDED TO THE CONTRACTOR PRIOR TO TESTING.
3. CONTRACTOR TO VERIFY AND RECORD ALL TEST RESULTS AND PROVIDE THESE RESULTS WITHIN THE FINAL CLOSE OUT PACKAGE.
4. ALL PERSONNEL INVOLVED IN THE TESTING OF RF CABLE, DATA CABLE, RADIO EQUIPMENT AND BACK HAUL EQUIPMENT WILL BE REQUIRED TO HAVE BEEN TRAINED AND OR CERTIFIED IN THE PROPER TESTING OF RF CABLE, DATA CABLE, RADIO EQUIPMENT AND BACK HAUL EQUIPMENT.
5. ALL TEST RESULTS SHALL BE TIME STAMPED, RECORDED AND PRESENTED PRIOR TO ENERGIZING AND TURN UP OF ANY EQUIPMENT.
6. GPS EQUIPMENT IS NOT TO BE TESTED OR ATTACHED TO ANY CABLING DURING TESTING, DOING SO WILL DAMAGE THE GPS UNIT.
7. PRIOR TO TESTING IF THE CONTRACTOR HAS ANY QUESTIONS ABOUT THE TESTING PROCEDURES THEY ARE TO CALL AND OBTAIN ASSISTANCE FROM A QUALIFIED DESIGNATED TESTING REPRESENTATIVE.
8. EQUIPMENT IS NOT TO BE ENERGIZED UNTIL ALL TESTING HAS BEEN COMPLETED, APPROVED AND THE APPROPRIATE AUTHORITY HAS BEEN NOTIFIED AND GIVEN APPROVAL TO ENERGIZE THE EQUIPMENT.

FROM TIME TO TIME IT MAY BE NECESSARY TO MAKE MINOR ADJUSTMENTS TO ACCOMMODATE LEVEL OR SPACE ANTENNA MOUNTS AND EQUIPMENT. EXAMPLE ADDING A WASHER OR SHIM TO LEVEL OUT A BRACKET OR MOUNT TO MEET SPECIFICATIONS, HAVING TO OFFSET OR SPACE A BRACKET OR MOUNT DUE TO FLANGES AND OR OTHER SMALL PROTRUSIONS OR POLE TO ASSEMBLY, ANY MATERIALS, NUTS, BOLTS, SHIMS OR SPACERS USED TO ACCOMMODATE ADJUSTMENTS TO ANTENNA MOUNTS AND EQUIPMENT MUST BE PERMANENTLY AFFIXED, BOLTED TO THE MOUNT, BRACKET OR POLE; AS NEVER TO BECOME A FALL HAZARD. ALL MATERIALS NUTS, BOLTS, SHIMS OR SPACERS USED IN MINOR ADJUSTMENTS, MUST BE EITHER STAINLESS STEEL OR GALVANIZED. HALF WASHERS ARE PROHIBITED. ANY MINOR ADJUSTMENTS TO ACCOMMODATE ANTENNA MOUNTS AND EQUIPMENT SHOULD BE DONE IN A PROFESSIONAL MANNER WITH SAFETY AND AESTHETICS IN MIND. SHOULD YOU HAVE ANY QUESTIONS CONTACT YOUR ASSIGNED CONSTRUCTION PROJECT MANAGER OR ENGINEER FOR GUIDANCE.



DATE:	06/20/2016
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[illegible]

IT IS A VIOLATION OF LAW FOR ANY PERSON,
UNLESS THEY ARE ACTING UNDER THE
DIRECTION OF A LICENSED PROFESSIONAL
ENGINEER, TO ALTER THIS DOCUMENT.

NEW WOOD UTILITY POLE

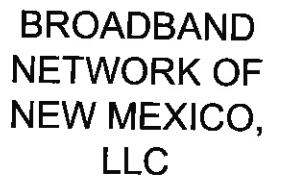
GENERAL NOTES

T-2

1. DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.
2. DO NOT SCALE BUILDING DIMENSIONS FROM DRAWING.
3. SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON AS-BUILT DRAWINGS BY GENERAL CONTRACTOR AND ISSUED TO ARCHITECT/ENGINEER AT COMPLETION OF PROJECT.
4. ALL EXISTING UTILITIES, FACILITIES, CONDITIONS AND THEIR DIMENSIONS SHOWN ON PLANS HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL EXISTING UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING EXISTING UTILITIES.
5. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES BOTH HORIZONTALLY AND VERTICALLY PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER FOR RESOLUTION AND INSTRUCTION; AND NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS/HER OWN RISK AND EXPENSE. CONTRACTOR SHALL CALL LOCAL DIGGER HOT LINE FOR UTILITY LOCATIONS 48 HOURS PRIOR TO START OF CONSTRUCTION.
6. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.
7. GRADING OF THE SITE WORK AREA IS TO BE SMOOTH AND CONTINUOUS IN SLOPE AND IS TO FEATHER INTO EXISTING GRADES AT THE GRADING LIMITS.
8. ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
9. STRUCTURAL FILLS SUPPORTING PAVEMENTS SHALL BE COMPACTED TO 95% OF MAXIMUM STANDARD PROCTOR DRY DENSITY.
10. NEW GRADES NOT IN BUILDING AND DRIVEWAY IMPROVEMENT AREA TO BE ACHIEVED BY FILLING WITH APPROVED CLEAN FILL AND COMPACTED TO 95% OF STANDARD PROCTOR DENSITY.
11. ALL FILL SHALL BE PLACED IN UNIFORM LIFTS. THE LIFTS THICKNESS SHOULD NOT EXCEED THAT WHICH CAN BE PROPERLY COMPACTED THROUGHOUT ITS ENTIRE DEPTH WITH THE EQUIPMENT AVAILABLE.
12. ANY FILLS PLACED ON EXISTING SLOPES THAT ARE STEEPER THAN 10 HORIZONTAL TO 1 VERTICAL SHALL BE PROPERLY BENCHED INTO THE EXISTING SLOPE AS DIRECTED BY A GEOTECHNICAL ENGINEER.
13. CONTRACTOR SHALL CLEAN ENTIRE SITE AFTER CONSTRUCTION SUCH THAT NO PAPERS, TRASH, WEEDS, BRUSH OR ANY OTHER DEPOSITS WILL REMAIN. ALL MATERIALS COLLECTED DURING CLEANING OPERATIONS SHALL BE DISPOSED OF OFF-SITE BY THE GENERAL CONTRACTOR.
14. ALL TREES AND SHRUBS WHICH ARE NOT IN DIRECT CONFLICT WITH THE IMPROVEMENTS SHALL BE PROTECTED BY THE GENERAL CONTRACTOR.
15. ALL SITE WORK SHALL BE CAREFULLY COORDINATED BY GENERAL CONTRACTOR WITH LOCAL UTILITY COMPANY, TELEPHONE COMPANY, AND ANY OTHER UTILITY COMPANIES HAVING JURISDICTION OVER THIS LOCATION.

1. ALL WORK PERFORMED SHALL BE DONE IN ACCORDANCE WITH ISSUED PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYMENT OF FINES AND PROPER CLEAN UP FOR AREAS IN VIOLATION.
2. CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR CONSTRUCTION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS DURING CONSTRUCTION FOR PROTECTION OF ADJACENT PROPERTIES, ROADWAYS AND WATERWAYS AND SHALL BE MAINTAINED IN PLACE THROUGH FINAL JURISDICTIONAL INSPECTION & RELEASE OF SITE.
3. CONTRACTOR SHALL INSTALL/CONSTRUCT ALL NECESSARY SEDIMENT/SILT CONTROL FENCING AND PROTECTIVE MEASURES WITHIN THE LIMITS OF SITE DISTURBANCE PRIOR TO CONSTRUCTION.
4. NO SEDIMENT SHALL BE ALLOWED TO EXIT THE PROPERTY. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ADEQUATE MEASURES FOR CONTROLLING EROSION. ADDITIONAL SEDIMENT CONTROL FENCING MAY BE REQUIRED IN ANY AREAS SUBJECT TO EROSION.
5. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE ON THE SITE AT ALL TIMES WITH SILT AND EROSION CONTROL MEASURES MAINTAINED ON THE DOWNSTREAM SIDE OF SITE DRAINAGE. ANY DAMAGE TO ADJACENT PROPERTY AS A RESULT OF EROSION WILL BE CORRECTED AT THE CONTRACTORS EXPENSE.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY INSPECTIONS AND ANY REPAIRS OF ALL SEDIMENT CONTROL MEASURES INCLUDING SEDIMENT REMOVAL AS NECESSARY.
7. CLEARING OF VEGETATION AND TREE REMOVAL SHALL BE ONLY AS PERMITTED AND BE HELD TO A MINIMUM. ONLY TREES NECESSARY FOR CONSTRUCTION OF THE FACILITIES SHALL BE REMOVED.
8. SEEDING AND MULCHING AND/OR SODDING OF THE SITE WILL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER COMPLETION OF THE PROJECT FACILITIES AFFECTING LAND DISTURBANCE.
9. CONTRACTOR SHALL PROVIDE ALL EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY LOCAL, COUNTY AND STATE CODES AND ORDINANCES TO PROTECT EMBANKMENTS FROM SOIL LOSS AND TO PREVENT ACCUMULATION OF SOIL AND SILT IN STREAMS AND DRAINAGE PATHS LEAVING THE CONSTRUCTION AREA. THIS MAY INCLUDE SUCH MEASURES AS SILT FENCES, STRAW BALE SEDIMENT BARRIERS, AND CHECK DAMS.
10. RIP RAP OF SIZES INDICATED SHALL CONSIST OF CLEAN, HARD, SOUND, DURABLE, UNIFORM IN QUALITY STONE FREE OF ANY DETRIMENTAL QUANTITY OF SOFT, FRAGILE, THIN, ELONGATED OR LAMINATED PIECES, DISINTEGRATED MATERIAL, ORGANIC MATTER, OIL, ALKALI, OR OTHER DELETERIOUS SUBSTANCES
11. GC TO PLACE FILTER MATERIAL AT ALL CATCH BASINS ADJACENT TO CONSTRUCTION SITE TO PREVENT SOLID WASTE CONTAMINATION FROM ENTERING SEWER SYSTEM

1. ALL FINAL GRADED SLOPES SHALL BE A MAXIMUM OF 3 HORIZONTAL TO 1 VERTICAL.
2. ALL EXCAVATIONS PREPARED FOR PLACEMENT OF CONCRETE SHALL BE OF UNDISTURBED SOILS, SUBSTANTIALLY HORIZONTAL AND FREE FROM ANY LOOSE UNSUITABLE MATERIAL OR FROZEN SOILS, AND WITHOUT THE PRESENCE OF POUNDING WATER. DEWATERING FOR EXCESS GROUND WATER SHALL BE PROVIDED WHEN REQUIRED. COMPACTION OF SOILS UNDER CONCRETE PAD FOUNDATIONS SHALL NOT BE LESS THAN 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY FOR THE SOIL IN ACCORDANCE WITH ASTM D1557.
3. CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC OR UNSUITABLE MATERIAL. IF INADEQUATE BEARING CAPACITY IS REACHED AT THE DESIGNED EXCAVATION DEPTH, THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION SHALL BE FILLED WITH CONCRETE OF THE SAME TYPE SPECIFIED FOR THE FOUNDATION. CRUSHED STONE MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION, ANY STONE SUB BASE MATERIAL, IF USED, SHALL NOT SUBSTITUTE FOR REQUIRED THICKNESS OF CONCRETE.
4. ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH PRIOR TO BACK FILLING. BACK FILL SHALL CONSIST OF APPROVED MATERIALS SUCH AS EARTH, LOAM, SANDY CLAY, SAND AND GRAVEL, OR SOFT SHALE, FREE FROM CLODS OR LARGE STONES OVER 2 1/2" MAX DIMENSIONS. ALL BACK FILL SHALL BE PLACED IN COMPACTED LAYERS.
5. ALL FILL MATERIALS AND FOUNDATION BACK FILL SHALL BE PLACED IN MAXIMUM 6" THICK LIFTS BEFORE COMPACTION. EACH LIFT SHALL BE WETTED IF REQUIRED AND COMPACTED TO NOT LESS THAN 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY FOR SOIL IN ACCORDANCE WITH ASTM D1557.
6. NEWLY PLACED CONCRETE FOUNDATIONS SHALL CURE A MINIMUM OF 72 HRS PRIOR TO BACK FILLING.
7. FINISHED GRADING SHALL BE SLOPED TO PROVIDE POSITIVE DRAINAGE AND PREVENT STANDING WATER. THE FINAL (FINISH) ELEVATION OF SLAB FOUNDATIONS SHALL SLOPE AWAY IN ALL DIRECTIONS FROM THE CENTER. FINISH GRADE OF CONCRETE PADS SHALL BE A MAXIMUM OF 4 INCHES ABOVE FINAL FINISH GRADE ELEVATIONS. PROVIDE SURFACE FILL GRAVEL TO ESTABLISH SPECIFIED ELEVATIONS WHERE REQUIRED.
8. NEWLY GRADED SURFACE AREAS TO RECEIVE GRAVEL SHALL BE COVERED WITH GEOTEXTILE FABRIC TYPE "TPAR-3401 AS MANUFACTURED BY "CONSTRUCTION MATERIAL 1-800-239-384" OR AN APPROVED EQUIVALENT, SHOWN ON PLANS. THE GEOTEXTILE FABRIC SHALL BE BLACK IN COLOR TO CONTROL THE RECURRENT OF VEGETATIVE GROWTH AND EXTEND TO WITHIN 1 FOOT OUTSIDE THE SITE FENCING OR ELECTRICAL GROUNDING SYSTEM PERIMETER WHICH EVER IS GREATER. ALL FABRIC SHALL BE COVERED WITH A MINIMUM OF 4" DEEP COMPACTED STONE OR GRAVEL AS SPECIFIED. I.E. FOOT TYPE No. 57 FOR FENCED COMPOUND, FOOT TYPE No. 67 FOR ACCESS DRIVE AREA.
9. IN ALL AREAS TO RECEIVE FILL, REMOVE ALL VEGETATION, TOPSOIL, DEBRIS, WEED AND UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS, AND DELETERIOUS MATERIALS FROM GROUND SURFACE. PLOW STRIP OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SUCH THAT FILL MATERIAL WILL BIND WITH EXISTING/PREPARED SOIL SURFACE.
10. WHEN SUB GRADE OR PREPARED GROUND SURFACE HAS A DENSITY LESS THAN THAT REQUIRED FOR THE FILL MATERIAL, SCARIFY THE GROUND SURFACE TO DEPTH REQUIRED, PULVERIZE, MOISTURE-CONDITION AND/OR AERATE THE SOILS AND RECOMPACT TO THE REQUIRED DENSITY PRIOR TO PLACEMENT OF FILLS.
11. IN AREAS WHICH EXISTING GRAVEL SURFACING IS REMOVED OR DISTURBED DURING CONSTRUCTION OPERATIONS, REPLACE GRAVEL SURFACING TO MATCH ADJACENT GRAVEL SURFACING AND RESTORED TO THE SAME THICKNESS AND COMPACTION AS SPECIFIED. ALL RESTORED GRAVEL SURFACING SHALL BE FREE FROM CORRUGATIONS AND WAVES.
12. EXISTING GRAVEL SURFACING MAY BE EXCAVATED SEPARATELY AND REUSED WITH THE CONDITION THAT ANY UNFAVORABLE AMOUNTS OF ORGANIC MATTER, OR OTHER DELETERIOUS MATERIALS ARE REMOVED PRIOR TO REUSE. FURNISH ANY ADDITIONAL GRAVEL RESURFACING MATERIAL AS NEEDED TO PROVIDE A FULL DEPTH COMPACTED SURFACE THROUGHOUT SITE.
13. GRAVEL SUB SURFACE SHALL BE PREPARED TO REQUIRED COMPACTION AND SUB GRADE ELEVATIONS. BEFORE GRAVEL SURFACING IS PLACED AND/OR RESTORED, ANY LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED AND ANY DEPRESSIONS IN THE SUB GRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL. GRAVEL SURFACING MATERIAL SHALL NOT BE USED FOR FILLING DEPRESSIONS IN THE SUB GRADE.
14. PROTECT EXISTING GRAVEL SURFACING AND SUB GRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE, USE PLANKING MATTS OR OTHER SUITABLE PROTECTION DESIGNED TO SPREAD EQUIPMENT LOADS AS MAY BE NECESSARY. REPAIR ANY DAMAGE TO EXISTING GRAVEL SURFACING OR SUB GRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTORS OPERATIONS.
15. DAMAGE TO EXISTING STRUCTURES AND/OR UTILITIES RESULTING FROM CONTRACTORS NEGLIGENCE SHALL BE REPAIRED AND/OR REPLACED TO THE OWNERS SATISFACTION AT NO ADDITIONAL COST TO THE CONTRACT.
16. ALL SUITABLE BORROW MATERIAL FOR BACK FILL OF THE SITE SHALL BE INCLUDED IN THE BID. EXCESS TOPSOIL AND UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF SITE AT LOCATIONS APPROVED BY GOVERNING AGENCIES AT NO ADDITIONAL COST TO THE CONTRACT.

[illegible]

SITE ID:
9NMB000505-A
BACA AVE
BELEN, NM 87002
BACA AVE AND S 6TH ST
NEW WOOD UTILITY POLE

SHEET NUMBER

T-3



BROADBAND
NETWORK OF
NEW MEXICO,
LLC

DRAWN BY: ALR
DATE: 06/20/2016

REV	DATE	DESCRIPTION	BY
0	06/20/2016	90% ISSUED FOR REVIEW	ALR

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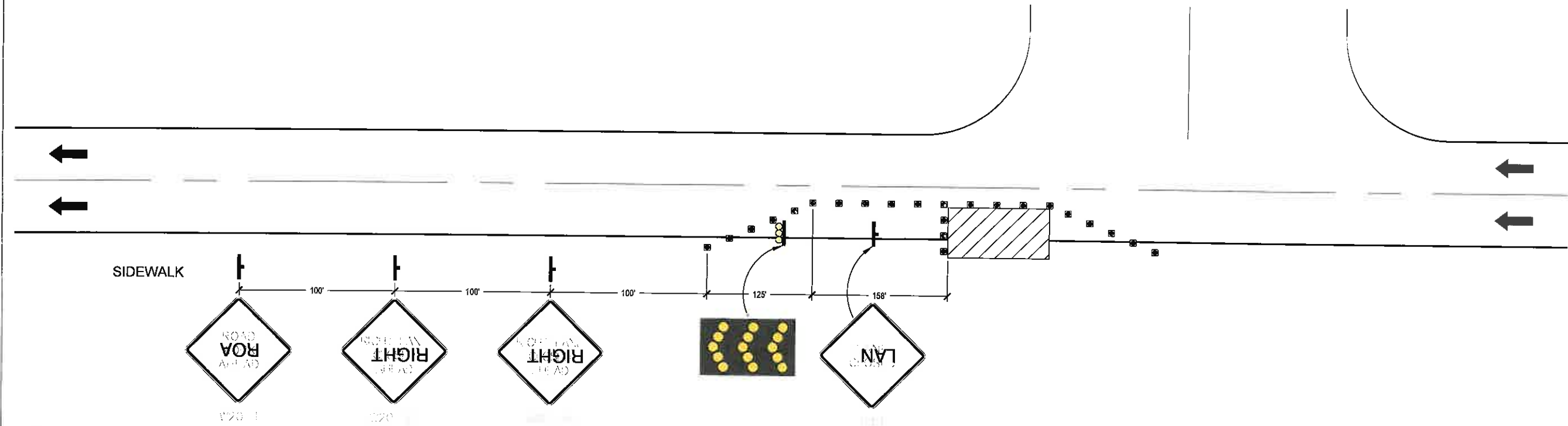
SITE ID:
9NMB000505-A

BACA AVE
BELEN, NM 87002
BACA AVE AND S 6TH ST
NEW WOOD UTILITY POLE

SHEET TITLE
TRAFFIC CONTROL
PLAN

SHEET NUMBER

TC-1



DISTANCE BETWEEN SIGNS				
Speed (MPH)	Spacing (ft.)			
	A	B	C	D
40 or less	200	200	200	100
41 to 49	350	350	350	175
50 to 54	500	500	500	250
55 or greater	2640	1640	1000	500

- * "ROAD WORK 1 MILE" sign may be used as an alternate to the "ROAD WORK AHEAD" sign
- ** 500' beyond the "ROAD WORK AHEAD" sign or midway between signs, whichever is less
- *** "BE PREPARED TO STOP" sign may be omitted for speeds of 45 MPH or less

TABLE 1 DEVICE SPACING				
Speed (MPH)	Max Distance Between Devices (ft.)			
	Cones or Delineators		Type I or Type II Barricades or Vertical Panels or Drums	
	Taper	Tangent	Taper	Tangent
25 to 49	20	50	20	50
50 or greater	20	50	20	100

BUFFER SPACE	
Speed (MPH)	Distance (ft.)
25	155
30	200
35	250
40	305
45	360
50	425
55	495
60	570
65	645
70	730

When Buffer Space cannot be attained due to geometric constraints, the greatest attainable length shall be used, but not less than 200 ft.

GENERAL NOTES

- Work operations shall be confined to one traffic lane, leaving the opposite lane open to traffic.
- Additional one-way control may be effected by the following means:
 - Flag-carrying vehicle
 - Official vehicle
 - Pilot vehicle
 - Traffic signal
- The "ONE LANE ROAD" signs are to be fully covered and the "FLAGGER" signs either removed or fully covered when no work is being performed and the roadway is open to two-way traffic
- When a side road intersects the roadway within the TTC zone, additional TTC devices shall be placed in accordance with applicable TCZ Indexes.
- The two channelizing devices directly in front of the work area and the one channelizing device directly at the end of the work area may be omitted provided vehicles in the work area have high-intensity rotating, flashing, oscillating, or strobe lights operating.
- For general TCZ requirements and additional information, refer to MUTCD.

DURATION NOTES

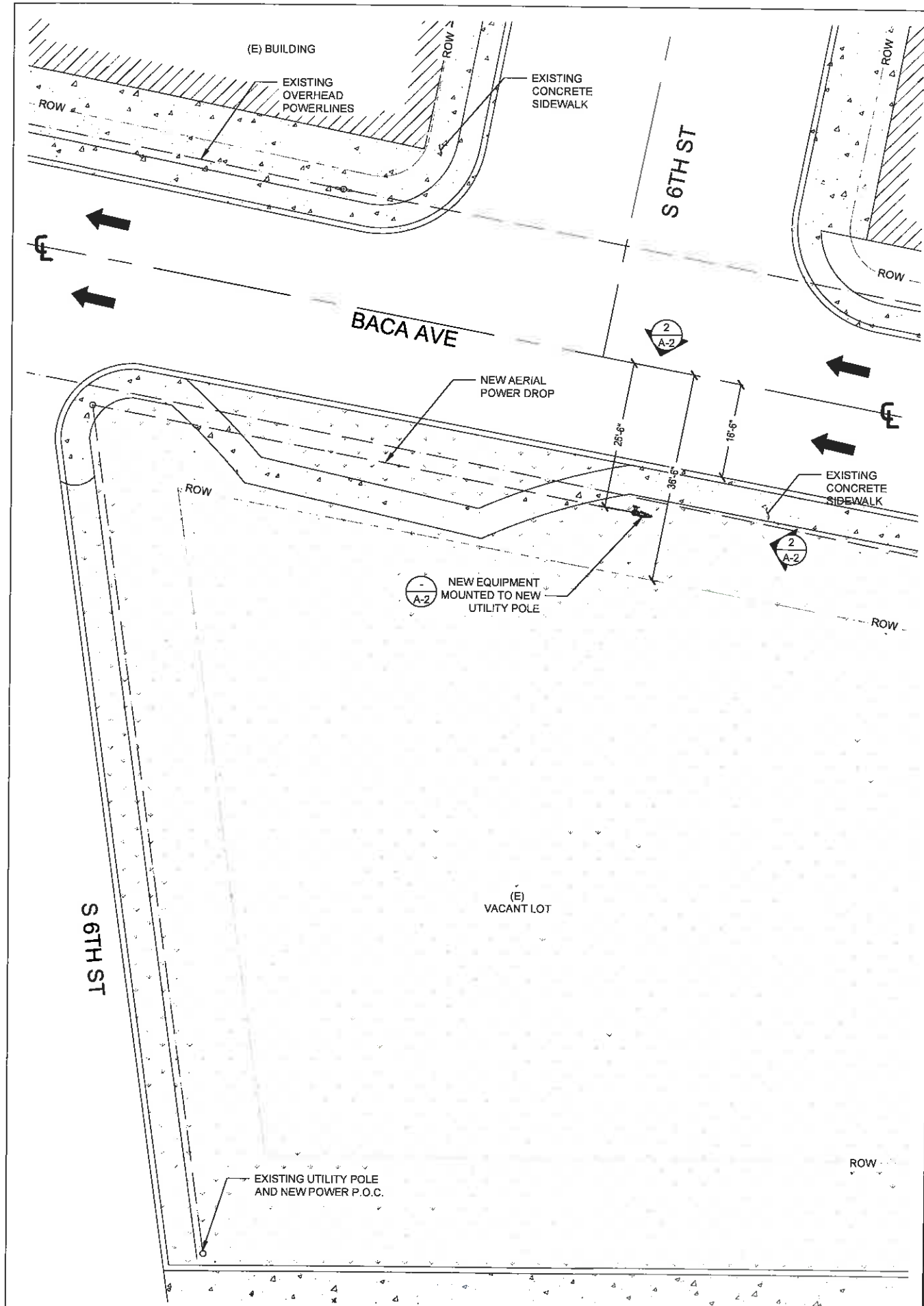
- "ROAD WORK AHEAD" and the "BE PREPARED TO STOP" signs may be omitted if all of the following conditions are met:
 - Work operations are 60 minutes or less
 - Speed limit is 45 MPH or less
 - No sight obstructions to vehicles approaching the work area for a distance equal to the buffer space
 - Vehicles in the work area have high-intensity, rotating, flashing, oscillating, or strobe lights operating
 - Volume and complexity of the roadway has been considered

CONDITIONS

WHERE ANY VEHICLE, EQUIPMENT, WORKERS OR THEIR ACTIVITIES ENCROACH THE AREA BETWEEN THE CENTERLINE AND A LINE 2' OUTSIDE THE EDGE OF TRAVEL WAY

LEGEND

- CHANNELIZING DEVICE
- SIGN
- WORK SPACE
- FLAGGER
- DIRECTION OF TRAFFIC



ENLARGED SITE PLAN

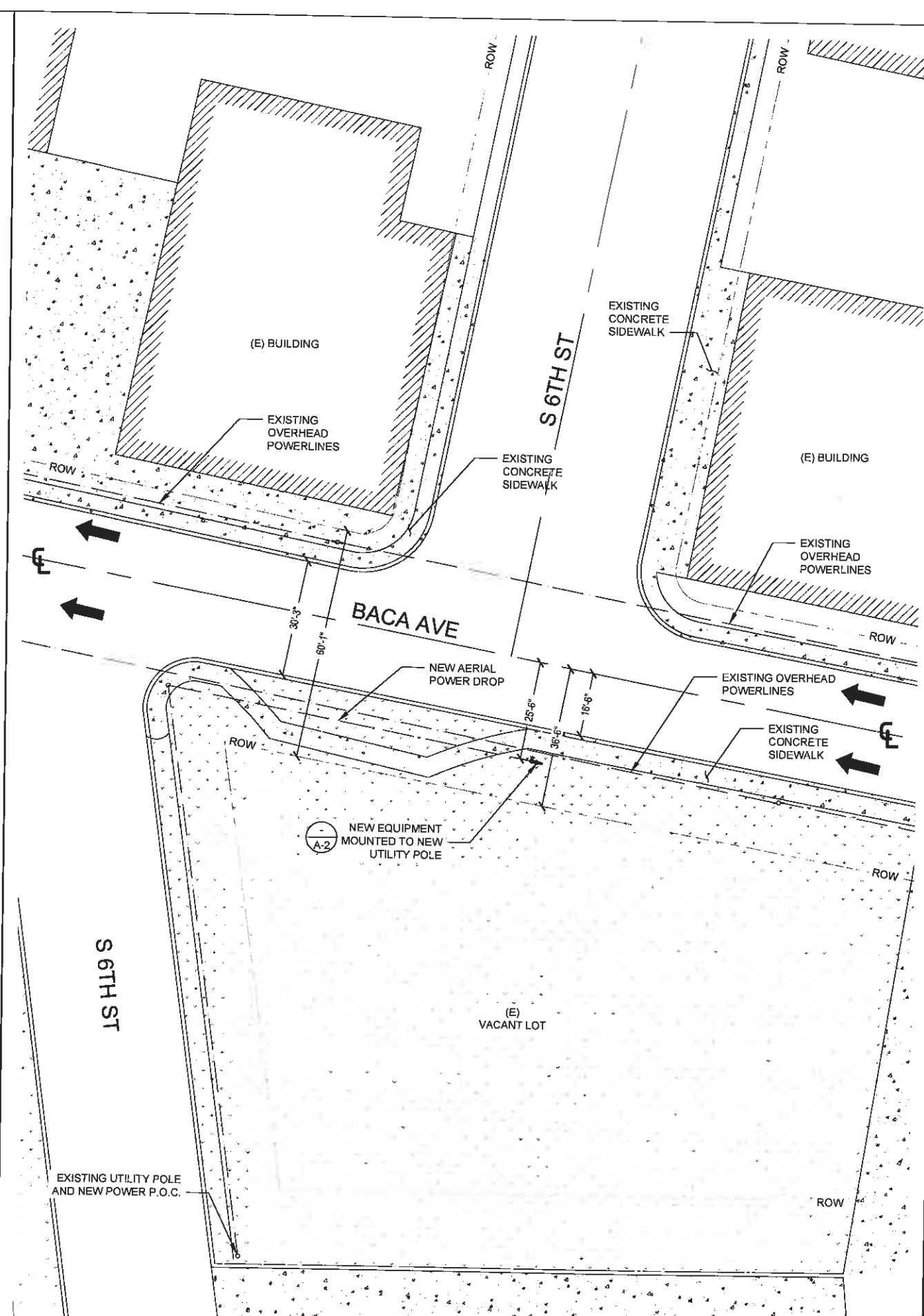


24"x36" SCALE: 3/32" = 1'-0"
11"x17" SCALE: 3/64" = 1'-0"

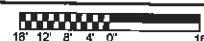


2

SITE PLAN



24"x36" SCALE: 1/16" = 1'-0"
11"x17" SCALE: 1/32" = 1'-0"



1



BROADBAND
NETWORK OF
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DATE: 06/20/2016

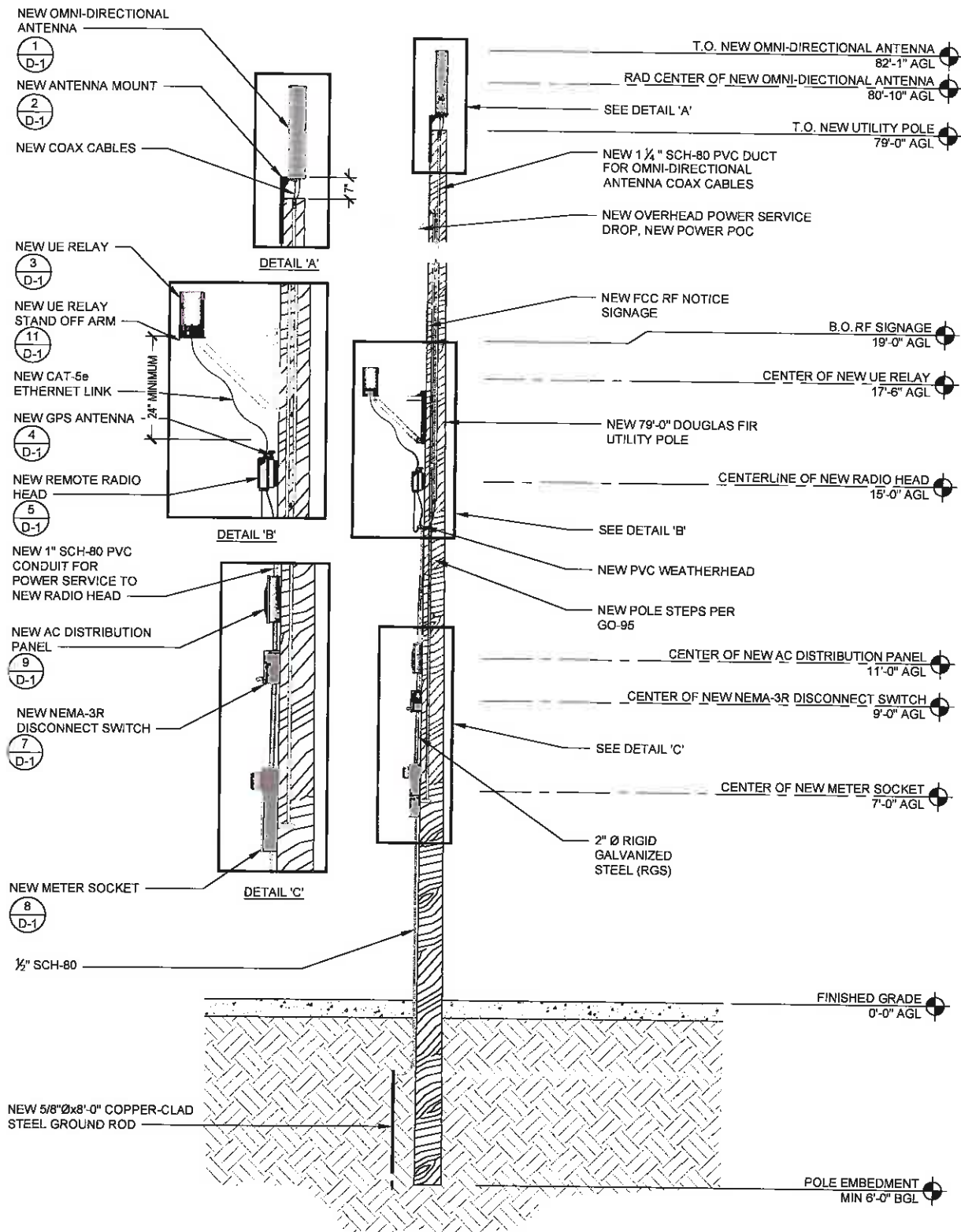
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SITE ID:
9NMB000505-A
BACA AVE
BELEN, NM 87002
BACA AVE AND S 6TH ST
NEW WOOD UTILITY POLE

SHEET TITLE
SITE PLANS

SHEET NUMBER
A-1



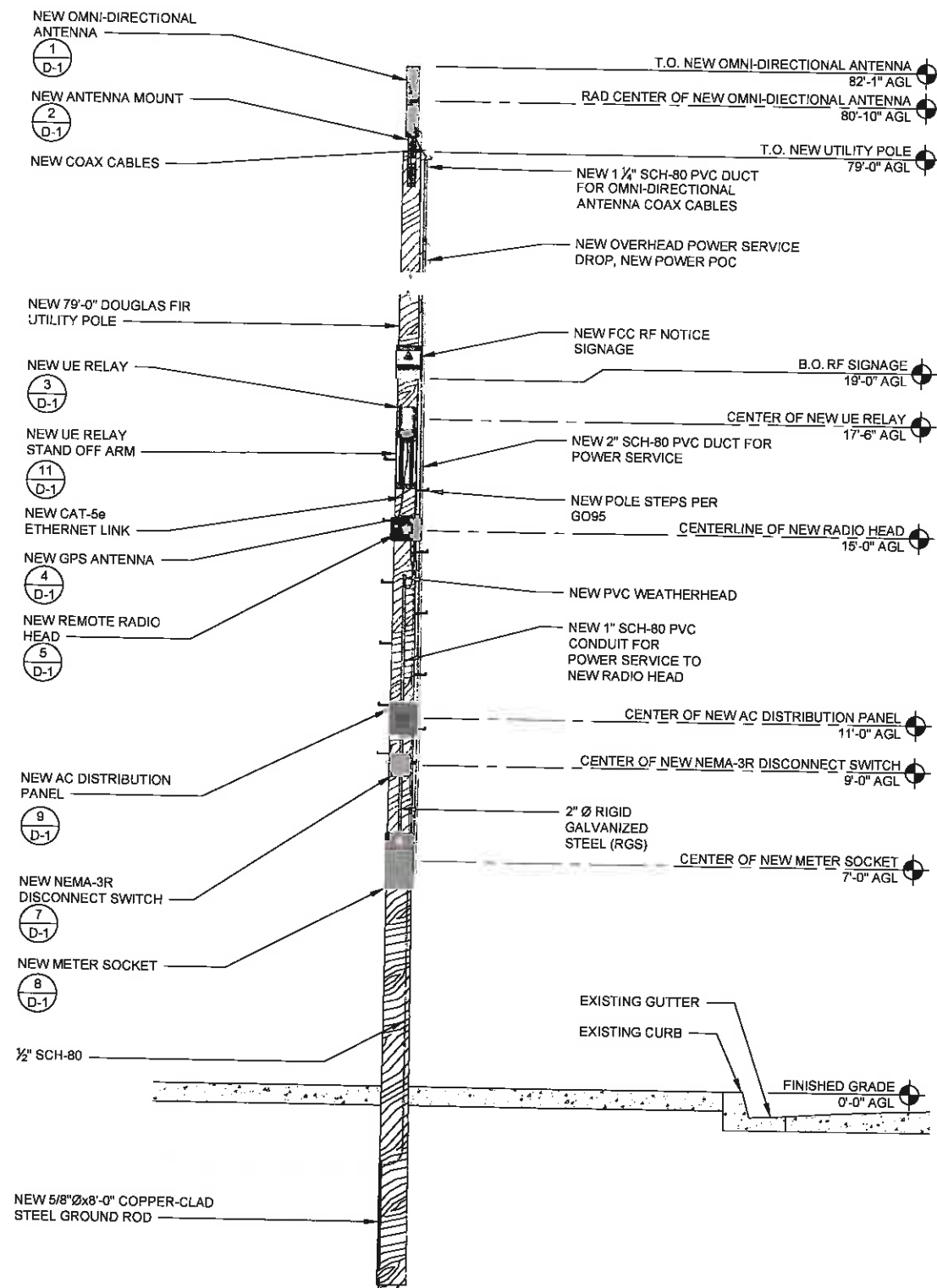
EQUIPMENT CHART				
QUANTITY	DESCRIPTION	CABLE LENGTH	DIMENSIONS (HxWxD)	WEIGHT
1	ALPHA WIRELESS AW3398 OMNI-DIRECTIONAL ANTENNA	TBD	25.5" X 4.5"Ø	4.6 LBS
1	AIRSPAN IR460 UE RELAY	TBD	13" X 7" X 7"	8.8 LBS
1	NOKIA 472932A FAWD GPS ANTENNA	TBD	3.1" X 2.4"	<3 LBS
1	NOKIA B41 HP REMOTE RADIO HEAD	TBD	9.72" X 12.87" X 5.71"	<22 LBS
1	RAYCAP RSTAC-3111-P-120 AC DISTRIBUTION PANEL	TBD	13.1" X 11.4" X 4.4"	~5 LBS
1	EATON-COOPER "B-LINE" U114TB METER SOCKET	TBD	24" X 12" X 4.63"	21 LBS
1	SIEMENS GNF321R NEMA-3R DISCONNECT SWITCH	TBD	9.9" X 8.8" X 4.5"	24 LBS

NEW WEST ELEVATION

24"X36" SCALE: 3/8" = 1'-0"
11"X17" SCALE: 3/16" = 1'-0"



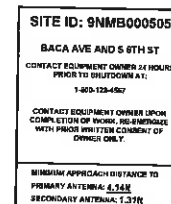
2



NEW 5/8"X8'-0" COPPER-CLAD STEEL GROUND ROD



FRONT PANEL
DISCONNECT SWITCH PANEL DETAILS



SITE ID: 9NMB000505
BACA AVE AND S 6TH ST
CONTACT EQUIPMENT OWNER 24 HOURS PRIOR TO SHUTDOWN AT:
1-800-123-4567
CONTACT EQUIPMENT OWNER UPON COMPLETION OF WORK. NO-ENTRY WITH PRIOR WRITTEN CONSENT OF OWNER ONLY.
BURNING APPROXIMATELY 10' FROM THE EQUIPMENT
PRIMARY ANTENNA: 4.5' H
SECONDARY ANTENNA: 1.5' H



NOTE: ALL EQUIPMENT TO BE SECURED TO THE POLE WITH THROUGH-BOLTS

NEW NORTH ELEVATION

24"X36" SCALE: 3/8" = 1'-0"
11"X17" SCALE: 3/16" = 1'-0"



1



BROADBAND
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SITE ID:
9NMB000505-A
BACA AVE
BELEN, NM 87002
BACA AVE AND S 6TH ST
NEW WOOD UTILITY POLE

SHEET TITLE
ELEVATIONS

SHEET NUMBER
A-2

NEW OMNI-DIRECTIONAL
ANTENNA

NEW UE RELAY

NEW UTILITY POLE

NEW GPS ANTENNA

NEW REMOTE RADIO HEAD

NEW PVC WEATHERHEAD

NEW AC DISTRIBUTION PANEL

NEW DISCONNECT SWITCH

NEW METER SOCKET

EXISTING GRADE

DRIVE MIN. 30" BELOW GRADE OR
6" BELOW FROST LINE

NEW 5/8"Ø x 8'-0" COPPER-CLAD
STEEL GROUND ROD

H-TAP CONNECTION, TYP

NEW #6 THHN/THWN GREEN
STRANDED MAIN GROUND
CONDUCTOR, TYP

EXOTHERMIC WELD CONNECTION
TO NEW GROUND ROD

NEW OMNI-DIRECTIONAL ANTENNA

MECHANICAL CONNECTION, TYP.

NEW REMOTE RADIO HEAD

NEW UE RELAY

NEW AC DISTRIBUTION PANEL

NEW DISCONNECT SWITCH

NEW METER SOCKET

NOTE:
ALL GROUND CONDUCTORS TO BE #6 THHN/THWN
GREEN STRANDED COPPER UNLESS OTHERWISE
NOTED OR REQUIRED BY EQUIPMENT
MANUFACTURER.

H-TAP CONNECTION, TYP

NEW #6 THHN/THWN GREEN
STRANDED GROUND FROM
EQUIPMENT TO MAIN GROUND

NEW #6 THHN/THWN GREEN
STRANDED MAIN GROUND
CONDUCTOR

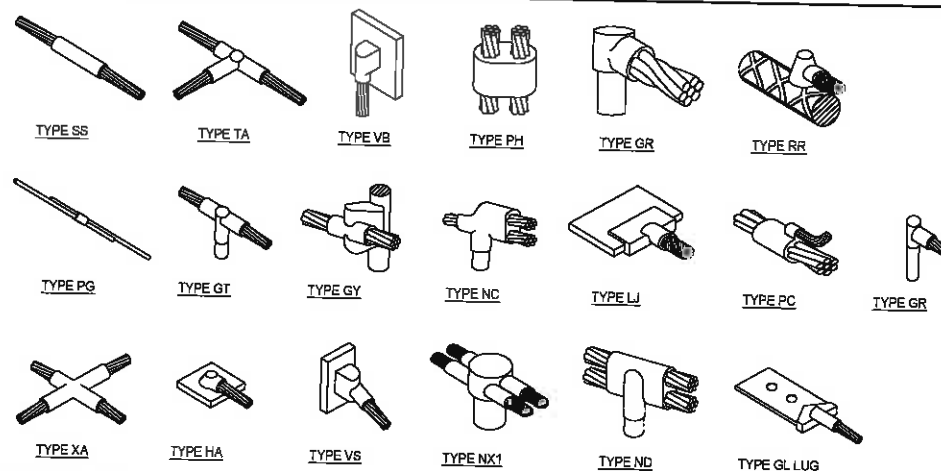
EXOTHERMIC WELD CONNECTION
TO NEW GROUND ROD

NEW 5/8"Ø x 8'-0" COPPER-CLAD
STEEL GROUND ROD

GROUNDING SCHEMATIC

24"x36" SCALE: NTS
11"x17" SCALE: NTS

1



CAD WELD DETAIL

24"x36" SCALE: NTS
11"x17" SCALE: NTS

2

- GROUND BONDS:** ALL BONDS ARE TO BE MADE WITH #6 AWG STRANDED COPPER IN GREEN INSULATION. (ATT-TP-76416 7, 6.7)
- EXTERIOR UNIT BONDS:** ALL METALLIC OBJECTS SHALL BE BONDED TO THE GROUND ROD. (ATT-TP-76416 7, 12.6)
- GROUND ROD:** UL LISTED COPPER CLAD STEEL GROUND ROD WITH MINIMUM DIAMETER OF 5/8" AND MINIMUM LENGTH OF 8 FEET. ALL GROUND RODS MAY BE INSTALLED WITH INSPECTION SLEEVES. GROUND RODS SHALL BE DRIVEN TO A MINIMUM DEPTH OF 30" BELOW GRADE OR 6 INCHES BELOW FROST LINE. (ATT-TP-76416 1.4/2.2, 3, 10)

GROUNDING NOTES

3

GROUNDING SCHEMATIC

24"x36" SCALE: NTS
11"x17" SCALE: NTS

4



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SITE ID:
9NMB000505-A
BACA AVE
BELEN, NM 87002
BACA AVE AND S 6TH ST
NEW WOOD UTILITY POLE

SHEET TITLE
**GROUNDING
PLAN**

SHEET NUMBER

G-1

**CITY OF BELEN
100 SOUTH MAIN STREET
BELEN, NM 87002
(505) 864-8221**

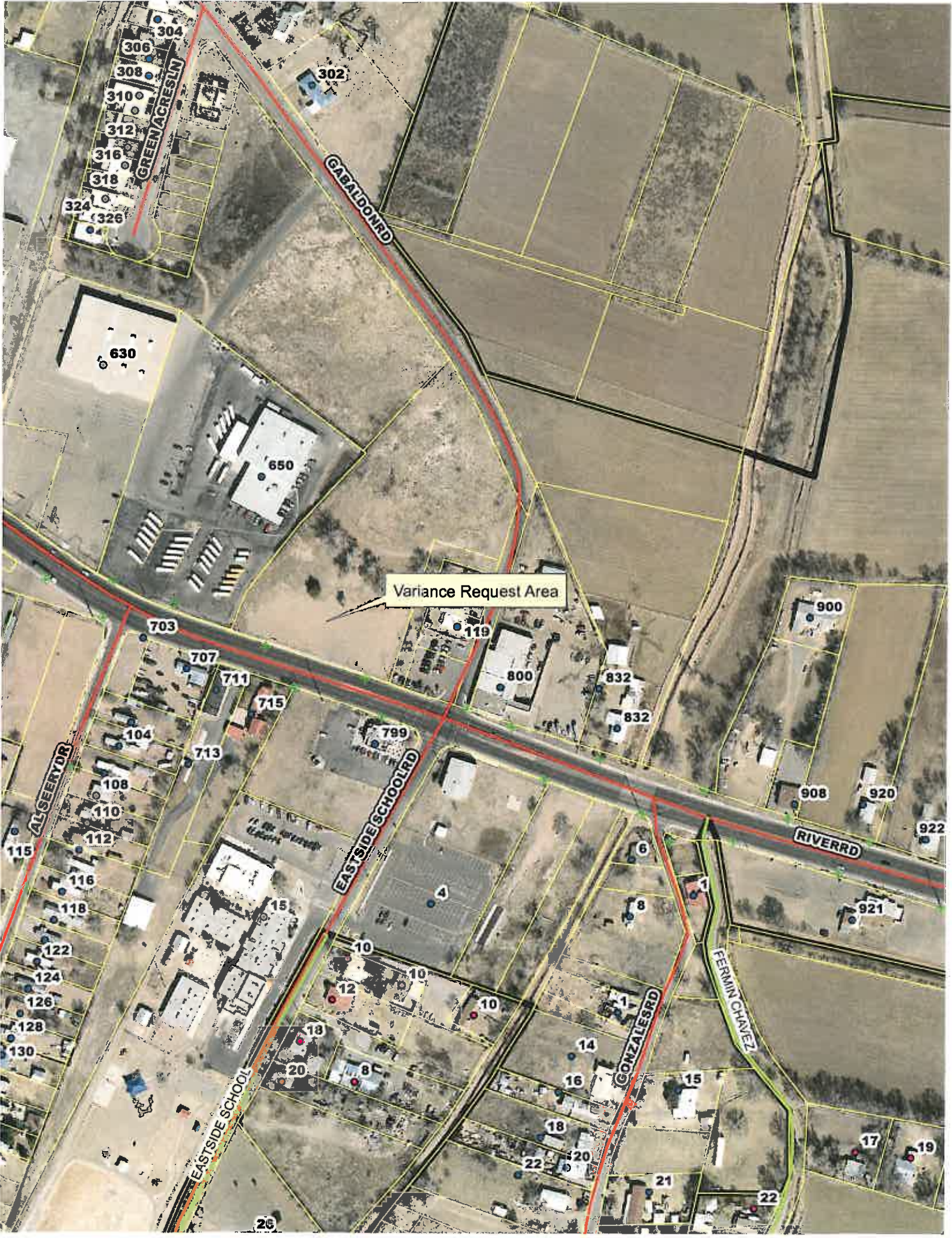
NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN to the public and all parties of interest that the Belen Planning and Zoning Commission will conduct a public hearing to consider a **REQUEST FOR A VARIANCE ON FENCE HEIGHT RESTRICTIONS: ED AUGE.**

LEGAL DESCRIPTION: Township 5 North, Range 2 East, Section 17, Map 99, Tract 69A1A2A, Containing 4.48 Ac., located just west of the existing Auge's Sales & Service Car Lot.

You are further notified that this public hearing will be held on **Monday, January 30, 2017 at 6:30 PM**, in the Council Chambers at City Hall, 100 South Main Street, Belen, NM 87002. Any person having objections or wishing to be heard should make such protests to the Belen Planning and Zoning Commission at the above stated date and time. Comments should be mailed to the Belen Planning and Zoning Department at 100 South Main Street, Belen, NM 87002.

LEGAL NOTICE PUBLISHED: January 12, 2017



CITY OF BELEN, NEW MEXICO
APPLICATION FOR ZONING VARIANCE

Section 17.04.040 City of Belen Municipal code: "Variance" means a relaxation of the terms of this title where such variance will not be contrary to the public interest and where, owing to conditions peculiar to the property and not the result of actions of the applicant, a literal enforcement of this title would result in unnecessary and undue hardship. As used in this title, a variance may be authorized only for area, height, dimension, distance, setback, off-street parking, and off street loading requirements

Applicants Name: Auge Sales & Service Phone: 505-864-4482
Address: 800 E. River Rd Belen, NM 87002
Authorized Agents Name: Ed Auge Phone: 864-4482
Address: 800 E. River Rd Belen, NM

Address of Property: East end of 800 E. River Rd
Block and Lot: _____ Addition: _____
Tract Number: 69A1A2A Map: 99
Total acreage in Tract: 4.48 Acres
Number of Dwellings: None Density/Acre: _____
Zoning of Property: Commercial Present Use: Vacant

APPLICATION REQUIREMENTS

The following material must be provided by applicant.

- Filing fee payment of \$150.00 Double application fees will be charged for uses commenced without approval under the Municipal Code and/or the Zoning Ordinance and for which a citation (violation) may have been issued.
- Letter of transmittal, state why a literal enforcement of Section 17.04.040 City of Belen Municipal Code would result in unnecessary and undue hardship.
- Specify type of variance requested, height, setback, lot coverage, parking requirement.
- Affidavit of ownership.
- Survey plat or scaled drawing of property describing property line, lot dimensions, easements, structures and accessory structures where variance is requested. Indicate dimensions of all structure heights and size of signs.

The Applicant must also do the following:

- Post and maintain one or more signs on the premises involved at least fifteen days prior Public Hearing Date and remove such signs within five days after Public Hearing Date.

NOTE: Failure to do so is grounds for deferral or denial of this application.

Accompanying this application are the above listed requirements for the proposed Zoning Variance. I have examined and am familiar with the zoning regulations of the present zone and the requested variance. I understand that the City of Belen will not assume any liability for a possible lack of understanding on my part.

Ed Auge 12.29.16
Signature of Applicant Date

THIS APPLICATION REQUIRES A PUBLIC HEARING BY THE PLANNING & ZONING COMMISSION

Planning and Zoning Commission Meeting Date: _____ Approved/Disapproved: _____

FEE PAID: \$150.00 RECEIPT NO.: 15001780 DATE: 12-29-16

OWNERS AFFIDAVIT

STATE OF NEW MEXICO)
COUNTY OF VALENCIA) SS
CITY OF BELEN)

We,
I Edward Auge, Auge Sales & Service Inc
(Please PRINT name in full)

being duly sworn, depose and say that (I am) (we are) the owner(s) of property located at

West of 800 E. River Rd Map 99 Tract 6 GALAZA, for which (I am) (we are)
(Address)

requesting a (Zone Change, Special Use Permit, Variance, Conditional Use, Annexation, Appeal)

Variance through the City of Belen. Furthermore, (I) (we) hereby appoint

Ed Auge of Auge Sales & Service as our agent to act in our
Belen, NM
behalf on all matters pertaining to the processing of this application.

Ed Auge
Signed

800 E. River Rd
Address

Belen, NM 87008

505.864-4482
Phone

Subscribed and sworn to before me this 29 day of Dec, 2016.

Jim Auge
Notary

My Commission Expires:

5.28.2020



December 29, 2016

City Of Belen
Planning and Zoning Commission
101 Main St
Belen, NM 87002

RE :Expansion of Car sales Lot west of 800 E. River Road

Auge Sales & Service wishes to apply for a zoning variance to expand our car sales lot area on River Road. The present sales lot has a chain link fence, 6 feet high that comes up to the sidewalk. The side walk was installed by the NM Highway dept in 2000 when River Road was widened. The lot and fence was there before the expansion. This fence runs approximately 75 ft along River road, is 6 ft high with a 3 wire barb wire topper. We propose to extend this same fence 60 feet further to the west, on the dirt lot. The 60 front foot fence will then run north approximately 200 feet to meet the back side of the present fenced lot.

This expansion will increase the visibility of our used car inventory. Our inventory has expanded in the last several years, both in numbers and dollars of cars available for sale.

Auges is proud to be still selling cars in Belen after 70 years. This expansion of our will allow us to have more cars available to the citizens of Belen, and increase the visibility of our inventory to motorists on River Road.

Auges owns all the property involved in this plan. The highway dept has a maintenance easement along the sidewalk, which we would respect during and after the expansion. Your approval of this variance request will allow us to serve our community better and help our local people keep their business in Belen.

Sincerely

Ed Auge

School District: BN01_NR

Tract 68A1A2A S: 17 T: 5N R: 2E 4.48 ACRES MAP 99 1983 REV
DEATH CERT

2016 TAX BILL

TREASURER VALENCIA COUNTY
P.O. BOX 939 • LOS LUNAS, NM 87031

To pay online or by phone:
(505) 866-2090
<https://pay.paygov.us/ValenciaCounty>

ACCOUNT # **R074592**

PARCEL # **1008028195173000000**



AUGE SALES & SERVICE INC
800 E RIVER RD
BELEN NM 87002-7416

T14 P1 00 RN: 009
AC: R074592

YOUR CANCELLED CHECK
IS YOUR RECEIPT

PLEASE READ REMEDIES
AVAILABLE TO THE
TAXPAYERS AND TAXING
AUTHORITIES ON
THE BACK PAGE.

BN01_NR NET TAXABLE VALUES WILL BE ALLOCATED
TO THE GOVERNMENTAL UNITS IN SCHOOL DISTRICT

TAX RATES ARE EXPRESSED IN DOLLARS PER THOUSAND.
TAXABLE VALUE IS 33 1/3% OF FULL VALUE.

DISTRIBUTION	TAX RATES	TAX AMOUNTS	CLASSIFICATION TYPE	FULL VALUE	TAXABLE VALUE
MUNICIPAL NON-RES	8.984	538.14	NON-RES LAND	180,102	60,034
SCHOOL NON-RES	10.174	610.79			
COUNTY DEBT	0.601	36.08			
COUNTY OPERATIONAL NON-RE	11.850	711.40			
STATE OF NEW MEXICO	1.360	81.65			
UNM VALENCIA BUILDING LEV	0.850	51.03			
UNIVERSITY OF NEW MEXICO	2.000	120.07			
MRGCDNR SOIL & WATER CONSERVATION	5.745 0.250	344.90 15.02			
TOTAL 2016 TAX DUE ▶ 2,509.08			TOTAL VALUE ▶ 60,034		

PAST DUE TAXES,
IF ANY, MUST BE
PAID BEFORE
ACCEPTING CURRENT
YEAR PAYMENT

YEAR	TAX	INTEREST	PENALTY	PAST DUE AMOUNT

PLEASE KEEP THIS PORTION FOR YOUR RECORDS

SECOND HALF PAYMENT STUB

PLEASE MAKE CHECKS PAYABLE TO:
VALENCIA COUNTY TREASURER
P.O. BOX 939
LOS LUNAS, NM 87031-0939

PRINT THIS
ACCOUNT NUMBER
ON YOUR CHECK

R074592

THIS BILL IS DUE BY APRIL 10, 2017. TO AVOID PENALTY AND INTEREST CHARGES,
DETACH THIS COUPON AND REMIT WITH PAYMENT BY: MAY 10, 2017.

PARCEL #: 1008028195173000000
AUGE SALES & SERVICE INC

2016
SECOND HALF

1,254.54

PLEASE USE THE BACK OF THIS COUPON FOR ADDRESS CHANGE.
DO NOT WRITE ON THE FACE OF THIS STUB. IT COULD CAUSE A PAYMENT POSTING DELAY.

82007459200000000012545420

Lota Burger

River Road

S ↑

W →

Traffic sign

Existing Side walk

30 ft

~~60 ft~~ 75 ft

Existing 6' fence w/
Barb wire Topper
Chain link

Current car
used lot
Display

200 ft Existing Fence

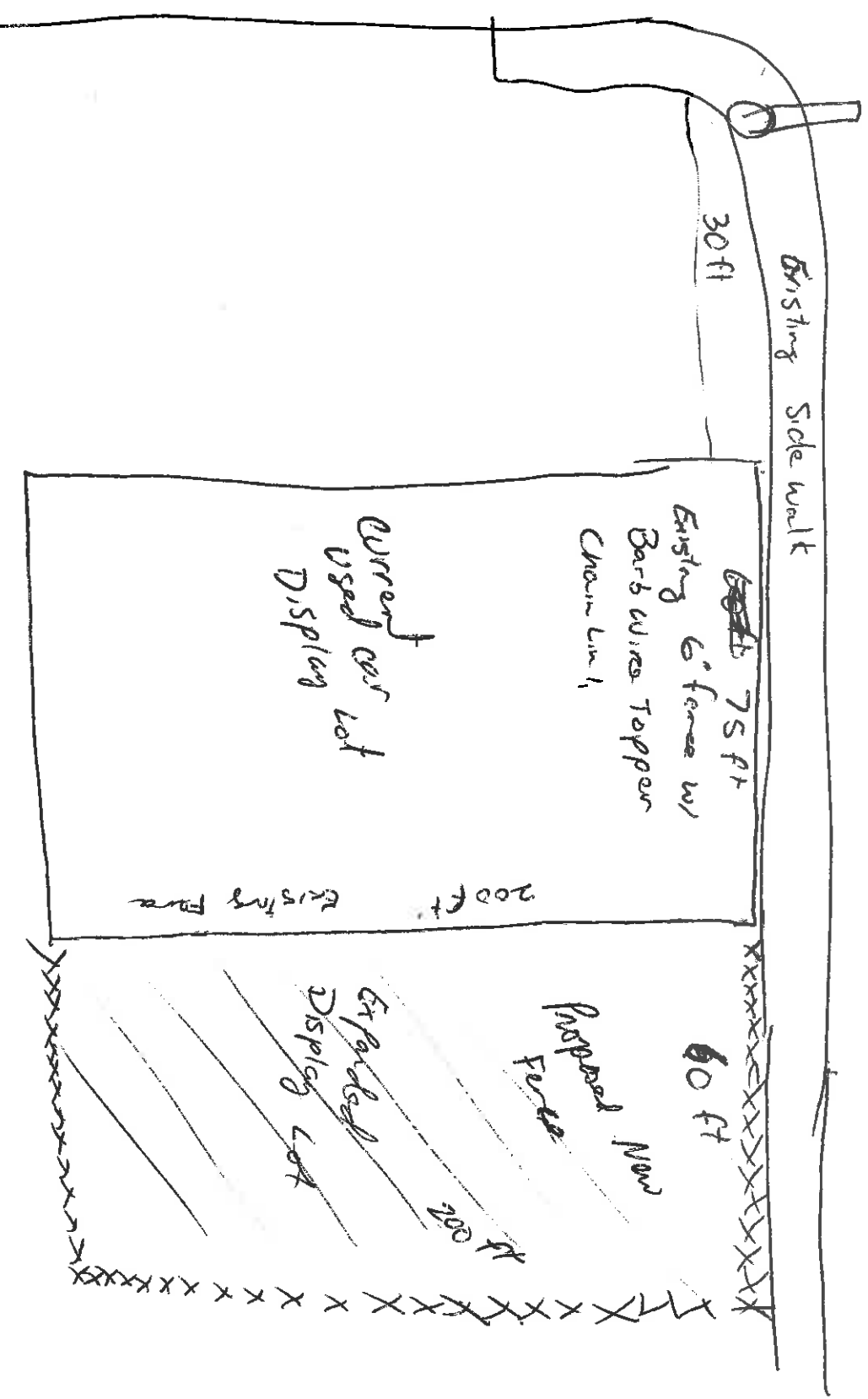
60 ft

Proposed New
Fence

Expanded
Display lot

Cochran Rd

N →



Planning & Zoning Commission

The topic that we will be covering for the Fence Ordinances is what types of fencing you want for the different zones and what types you don't want.

1 **17.54.060 – Fences**

2 **A. General Standards**

- 3 1) Fences and screening shall be permitted in all zones, as provided in this Section.
- 4 2) The height and location requirement of this section may be modified as provided in
- 5 *Chapter 17.54.070, Administration and Enforcement*, of this title.
- 6 3) On that part of the lot other than the required front setback area, fences may be
- 7 erected up to six (6) feet in height.
- 8 4) Any fence above six feet (6) in height shall be designed by a New Mexico registered
- 9 structural engineer and approved by the City of Belen.
- 10 a. The fence details shall show the proposed method of construction and anchoring of
- 11 the fence, posts, and gate.
- 12 b. The fence details shall clearly show the distance to the sight line of a street right-of-
- 13 way to the sight line of a street right-of-way intersection. Adequate sight distance
- 14 shall be maintained as per *18.31.6 NMAC, State Highway Access Management*
- 15 *Requirements Table 18.F-2*.

16 **B. Residential Zoning Districts A-R, R-1, R-1A, R-2, R-2A, R-3, R-4**

- 17 1) A fence constructed on a side or rear property line shall not exceed a height of six
- 18 feet (6') from highest finished grade adjacent to the fence.
- 19 2) Fencing materials shall consist of, ~~but is not limited to~~, adobe, pro panel, concrete,
- 20 wrought iron, wood slats, brick, stucco, and manufactured decorative fencing . Post
- 21 and rail fencing is limited to a 1 acre or larger parcel.
- 22 3) Street facing fences shall be in a color that matches or is in harmony with the
- 23 structure/home.
- 24 4) ~~The use includes but not limited to~~ barbed wire, chain-link, wire mesh shall not be
- 25 allowed within the Residential Zoning Districts unless in an agricultural zone.
- 26 5) ~~The use includes but not limited to~~ railroad ties, pallets, corrugated steel and razor
- 27 wire shall not be permitted within the Residential Zoning districts .
- 28 6) Fence lighting shall adhere to night sky regulation, be low profile, no more that 18"
- 29 above fence line and not be in a position to interfere with abutting owners privacy.
- 30 7) There shall be no fences or screening located from the front corner of the house or
- 31 garage within the front setback.
- 32

33 **C. Commercial Zone Districts C-R, C-1, C-2.**

- 34 1) All Residential uses located in a Commercial Zone shall use the Residential Zoning
- 35 Districts fence regulations.

- 36 2) Fence height restriction shall be seven (7) feet with one (1) foot of out rigging for a total
37 of eight (8) feet.
- 38 3) Out rigging shall be located on the top of the fence.
- 39 4) Front fencing in together with Parameter fencing shall be allowed in the following
40 Commercial uses;
- 41 a. Storage units, Warehouses, Equipment buildings, Automotive sales yards, utility
42 buildings, open storage and impound areas.
- 43 5) All other Commercial uses shall follow setback regulations, for the specified Commercial
44 Zone, provided in **Title 17 Zoning**, of the City of Belen Municipal Codes.
- 45 6) ~~The use includes but not limited to~~ railroad ties, pallets, and corrugated steel shall not be
46 permitted within the Commercial zones.
- 47

48 D. Manufacturing and Industrial Zone Districts M-C, M-1

49

- 50 1) All residential uses located within a Manufacturing and Industrial Zone District shall use
51 the Residential Zoning District regulations.
- 52 2) Fence height restrictions shall be a maximum of twelve (12) feet in height including out
53 rigging.
- 54 3) Out rigging shall be located on the top of the fence.
- 55 4) Fencing within the Manufacturing and Industrial Zone Districts shall require a plan
56 review by the Planning and Zoning Commission
- 57 5) ~~The use includes but not limited to~~ railroad ties, pallets shall not be permitted within the
58 Manufacturing and Industrial Zone Districts.
- 59

60 E. Special Use Zone District SU-1.

61

- 62 1) The underlying use within the SU-1 Zone District shall determine what fence regulations
63 apply.
- 64 2) Fencing within the Special Use Zone shall require a plan review by the Planning and
65 Zoning Commission
- 66
- 67
- 68